

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

AGENDA – June 4, 2014

There will be a meeting of the Planning Advisory Committee on June 4, 2014 at 2:00 p.m. The meeting will be held in the One Stop Shop Conference Room A, City Hall Room 7W03.

- 1) **Consideration**: Minutes from the May 21, 2014 PAC meeting.
- 2) **Consideration**: A request by R and D Enterprises Gulf Region, Inc., for a grant of a predial servitude, for the proposed encroachment of a cantilever balcony on/over the St. Louis Street public right-of-way (and existing balcony on/over St. Louis Street and Burgundy Street public rights-of-way), adjacent to Lot 9, Square 99, 2nd M.D., bounded St. Louis Street, N. Rampart Street, Toulouse Street, and Burgundy Street. The municipal address of the property is 501 Burgundy Street.
- 3) **Consideration**: **ZONING DOCKET 052/14** – Request by B.O.I. CONSTRUCTION, LLC for a Conditional Use to permit four townhouses and a single-family residence in an LI Light Industrial District, on Square 242, Part Lot 5 and 6 and Lots 6 and 7 or Lot 5 and part of Lot 6 and Lot 7 and part of Lot 7 or Lot 5-HF6 and Lot 7-HF6, in the First Municipal District, bounded by Carondelet, Terpsichore, and Baronne Streets and Martin Luther King, Jr. Boulevard. The municipal addresses are 1503-09 CARONDELET STREET. (PD 2)
- 4) **Consideration**: **ZONING DOCKET 053/14** – Request by 99 CORPORATION, INC. for a Conditional Use to permit the sale of alcoholic beverages for on-premises consumption at an existing amusement place within a C-1 General Commercial District and the Eastern New Orleans UC Urban Corridor District, on an undesignated square, Lot H-6 or H6, in the Third Municipal District, bounded by Chef Menteur Highway, Michoud Boulevard, and the Interstate 510 North on-ramp. The municipal addresses are 13235 CHEF MENTEUR HIGHWAY, SUITE D AND 4646 MICHLOUD BOULEVARD. (PD 10)
- 5) **Consideration**: **ZONING DOCKET 054/14** – Request by 2802 MAGAZINE STREET, LLC for a Conditional Use to permit the sale of alcoholic beverages for on-premises consumption at a restaurant in a B-1A Neighborhood Business District, on Square 128, Lot KM, in the Fourth Municipal District, bounded by Magazine, Sixth, and Constance Streets and Washington Avenue. The municipal address is 2802 MAGAZINE STREET. (PD 2)

- 6) **Consideration: ZONING DOCKET 056/14** – Request by CARVER THEATER, LLC for an Amendment to Ordinance No. 23,859 MCS (Zoning Docket 091/09, which granted a Zoning Change from an RD-3 Two-Family Residential District to a C-1A General Commercial District, on Square 268, Lot 5 or 15; a Zoning Change from an RD-3 Two-Family Residential District to a B-1 Neighborhood Business District, on Square 268, Lot R; and which administratively amended Ordinance No. 23,347 MCS to permit the expansion of an existing structure, on Square 268, Lots 1 or 12, 2 or 11, 3 or 10, A or 13, B or 14, 4, 108, 16 or S, and 5 or 15, and to permit the establishment of accessory parking lots in an RD-3 Two-Family Residential District on Square 268, Lots 97A, 19 or S, and 20 or A, and on Lots 7 and 8 of Square 253, in the Second Municipal District, bounded by Orleans Avenue, North Prieur, Saint Ann, and North Galvez Streets) to permit modifications to the approved site plan specific to right-of-way improvements, including sidewalks, curb cuts, fencing, ramps, and stair landings, on Square 268, Lot A-1, in the Second Municipal District, bounded by Orleans Avenue and North Johnson, North Galvez, and Saint Ann Streets. The municipal address is 2101 ORLEANS AVENUE. (PD 4)
- 7) **Consideration: ZONING DOCKET 057/14** – Request by MINH V. NGUYEN for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at a retail store in an LI Light Industrial District and the Lafitte Greenway Revitalization Corridor Interim Zoning District, on Square 272, Lots A and B, in the Second Municipal District, bounded by North Galvez, Saint Louis, Conti, and North Johnson Streets. The municipal addresses are 432 NORTH GALVEZ STREET AND 2120-2126 ST LOUIS STREET. (PD 4)
- 8) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, June 18, 2014, at 2:00 p.m. in the One Stop Shop conference room A, City Hall, Room 7W03.

Respectfully yours,

Robert D. Rivers, Director
May 30, 2014

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of "no objection" by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

Item #1

Consideration: Minutes from the May 21, 2014 PAC meeting.

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

Minutes – May 21, 2014

A meeting of the Planning Advisory Committee was held on Wednesday, May 21, 2014 at 2:00 PM in the One Stop Shop conference room A, City Hall Room 7W03. Those in attendance were:

MEMBERS

Edward Horan (S&P)
Larry Hesdorffer (VCC)
Max Camp (RER)
LaJoyce Steib (SWB)
Tica Hartman (PPW)
Mark Johnson (SWB)
Denise McCray (SWB)
Arlen Brunson (CPC)
Tracy St. Julien (HDL)
Louis Haywood (DPW)
Richard Scheirman (DPW)
Kisha Gaudin (DPW)

CPC STAFF

Dale Thayer
Stephen Kroll
Rachel Mays
Christopher Mills
Dubravka Gilic

GUESTS

Scott Aiges
Mark Anzelone
Louis Good (Loubar, LLC)
Chuck Rutledge (Magazine Race, LLC)
Lizzell Brooks-Williams (Overflowing Grace)

NON-VOTING DEPARTMENTS

William Gilchrist (City of New Orleans)

1) **Consideration:** Minutes from the May 7, 2014 PAC meeting.

A representative from the Department of Public Works requested that the applicant submit foundation and structural framing plan for Item #4 from the May 7 PAC agenda regarding the request by Logan Chase Enterprises, L.L.C. for a property located at 1515-1517 St. Charles Avenue. The Committee made a motion to accept the modification to the minutes. The motion was seconded by Real Estate and Records.

2) **Consideration:** A request by Loubar, L.L.C., for a purchase of a portion of the S. Miro St. public right-of-way, between the adjacent property line and the street for the location of two dumpsters, adjacent to Lot 15B, Square 134, Burtheville, 6th M.D., bounded by

State Street Drive, S. Claiborne Ave., Calhoun St., and S. Miro Street. The municipal address is 6200-6210 S. Claiborne Ave.

The applicant presented the proposal and explained the scope and reason of the request. A representative from the Department of Public Works requested that the applicant obtain full servitude for drainage. Sewage and Water Board confirmed that the purchase involves the sidewalk only and has no objection to the proposed 10' by 5' servitude on any existing Sewage and Water Board house connections. The Committee made a motion of no objection subject to further review by CPC and SWB. The motion was seconded by Real Estate and Records.

- 3) **Consideration:** A request by Magazine Race, L.L.C, for a grant of a predial servitude, for the proposed encroachments of cantilever balconies on/over the Magazine Street and Race Street public rights-of-way, adjacent to Lots 1 & 2, Square 144, 1st M.D., bounded Euterpe Street, Constance Street, Race Street, and Magazine Street. The municipal address of the property is 1476 Magazine Place.

The applicant presented the proposal and explained the scope and reason of the request. A representative from HDLC confirmed their approval of the concept. SWB confirmed that the proposed height is adequate for the necessary clearance. The Committee made a motion of no objection. The motion was seconded by Real Estate and Records.

- 4) **Consideration:** **ZONING DOCKET 047/14** – Request by MARK A. ANZALONE for a Conditional Use to permit a four-family dwelling in an HMR-3 Historic Marigny/Tremé Residential District, on Square 498, Lot 18, in the Third Municipal District, bounded by Pauger, Marais, Urquhart, and Saint Anthony Streets. The municipal addresses are 1914-1916 PAUGER STREET. (PD 4)

The representative of the Department of Public Works noted that the curb cut would need to be reduced to no greater than the combined width of the two proposed parking spaces, which is eighteen (18) feet. None of the other departmental representatives present at the meeting had any comments regarding the application. The committee passed a motion of no objection subject to further review by the City Planning Commission and the Department of Public Works.

- 5) **Consideration:** **ZONING DOCKET 048/14** – Request by MINH V. NGUYEN for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at a retail store in an LI Light Industrial District and the Lafitte Greenway Revitalization Corridor Interim Zoning District, on Square 272, Lots A and B, in the Second Municipal District, bounded by North Galvez, Saint Louis, Conti, and North Johnson Streets. The municipal addresses are 432 NORTH GALVEZ STREET AND 2120-2126 ST LOUIS STREET. (PD 4)

The applicant presented the proposal to the committee. Real Estate and Records requested further review for potential encroachments. The committee passed a motion of no objection subject to further review by the City Planning Commission and Real Estate and Records. The motion was seconded by the Department of Public Works.

- 6) **Consideration: ZONING DOCKET 049/14** – Request by HARRISON 901-911, LLC for a Conditional Use to permit the sale of alcoholic beverages for on-premises consumption and video poker at an existing restaurant in the LB-2 Lake Area Neighborhood Business District and within the LADC Lake Area Design Corridor Overlay District, on Square 236, Lots 22 through 26, in the Second Municipal District, bounded by Harrison Avenue, Marshall Foch Street, Argonne Boulevard, and Bragg Street. The municipal addresses are 901-907 HARRISON AVENUE. (PD 5)

City Planning Commission (CPC) staff described the proposal. A representative from the Department of Public Works (DPW) asked about the parking space that, according to the submitted plans, extended into the public right of way. DPW requested that the parking space, if existing as shown, be removed. The parking space issue is addressed above in the design review section of this report. CPC made a motion of no objection subject to further review by DPW and CPC. The motion was seconded by the representative from Real Estate and Records and passed unanimously.

- 7) **Consideration: ZONING DOCKET 050/14** – Request by SCOTT AIGES AND LISANNE B. AIGES for an Amendment to Ordinance No. 18,038 MCS (Zoning Docket 127/96, which granted a Conditional Use to permit a Bed and Breakfast Guest Home with three (3) guest rooms in an RD-3 Two Family Residential District) to allow building expansions and site plan modifications, including the construction of rear structures, on Square 295, Lot A, in the Third Municipal District, bounded by Poland Avenue, Burgundy, Lesseps, and North Rampart Streets. The municipal address is 908 POLAND AVENUE. (PD 7)

The applicant presented the proposal to the committee and explained the scope and reason of the request which involves renovation and addition to the two accessory structures located on the site of an approved bed & breakfast operation. The committee passed a motion of no objection subject to further review by the City Planning Commission.

- 8) **Consideration: ZONING DOCKET 051/14** – Request by CHATA, LLC for an Amendment to Ordinance No. 23,730 MCS (Zoning Docket 065/09, which granted a Conditional Use to permit the sale of alcoholic beverages for consumption on premises in a standard restaurant in an LB-1 Lake Area Neighborhood Business District and the LADC Lake Area Design Corridor Overlay District) to permit the expansion of the restaurant, on Square 275, Lot G, in the Second Municipal District, bounded by Harrison Avenue, Milne Boulevard, Colbert and French Streets. The municipal addresses are 300-316 HARRISON AVENUE. (PD 5)

The architect and property owner explained the request to permit the expansion of an existing restaurant to the Committee. The architect stated that the site will add two (2) new paved areas consisting of one (1) "waiting area" in the area adjacent to Milne Blvd. and an outdoor seating area adjacent to the existing structure along Harrison Avenue. The architect explained that no new interior table service is proposed and that the existing residential structure will be incorporated into the restaurant: first floor as restaurant expansion and the second floor for office space and reception area. The architect then stated that the applicant intends to beautify the building's façade and add landscaping. The property owner stated that the existing facility currently allows for up to 60 seats but space is very limited. The property owner also explained that the expansion would open up the table service area, provide for a bigger kitchen and a large courtyard area.

A representative from the Sewerage and Water Board (SWB) questioned the exact location of the property lines on the submitted plans. The architect stated that the proposed bushes adjacent to Harrison Ave. are on City property. The SWB representative stated that an existing water line is located three feet (3') off the Harrison Ave. property line and six feet (6') off the Milne Street property line. The SWB representative stated that if work needs to be performed on these lines, the SWB may need to temporarily remove all necessary site improvements. The SWB representative also requested no big trees being planted in these areas and further investigation will need to be determined regarding on-site connections.

A representative from the Department of Public Works (DPW) also questioned the accuracy of the scaled drawings. The DPW representative stated that both the planter and the sidewalk area appeared to be four feet (4') in depth relative to the curb line. The DPW representative followed by questioning the depth of the masonry wall location and proposed porch areas. The representative for the Vieux Carre Commission (VCC) recommended using planters instead for ground growth. The architect stated that the proposed parking spaces do encroach onto City property. The representative for the Department of Safety and Permits (S&P) questioned whether the proposed/existing parking spaces were legal. The representative from the City Planning Commission (CPC) stated that many of the current development patterns are as a result of the original property owner and not approved for the current development. The representative from the CPC stated that the original and approved parking is now located within the courtyard area and currently a freshly paved parking pad accommodates the three (3) parking spaces beyond the masonry wall. The representative from the CPC also stated that a new roll-over curb has eliminated the historic curb cuts. The representative from the CPC stated that the proposed plans do not provide three (3) legal off-street spaces, the interior of the existing restaurant is not changing, kitchen area has been increased, a courtyard has been created and that parking calculations are based upon total area not seating.

The representative from S&P stated that the request triples the size of the existing use. The architect stated that the Neighborhood Participation Program (NPP) yielded both complaints and support for the request. The architect stated the owner is looking into a shared parking agreement with a nearby bank; however, a conditional use will also be needed for that property as well. The committee passed a motion of no objection subject

to further review by the City Planning Commission, Department of Public Works and the Department of Property Management – Office of Real Estate and Records

- 9) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, June 4, 2014, at 2:00 p.m. in the One Stop Shop conference room A, City Hall, Room 7W03.

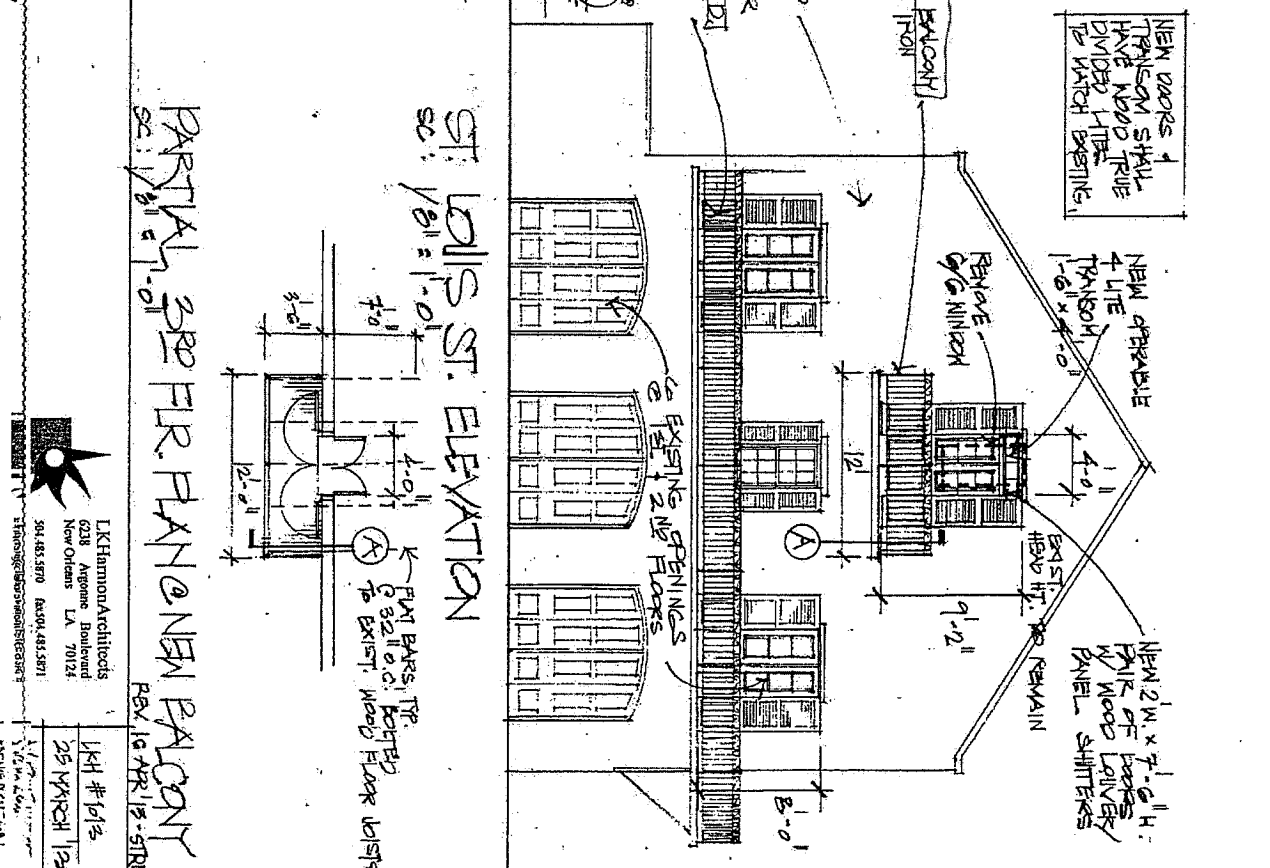
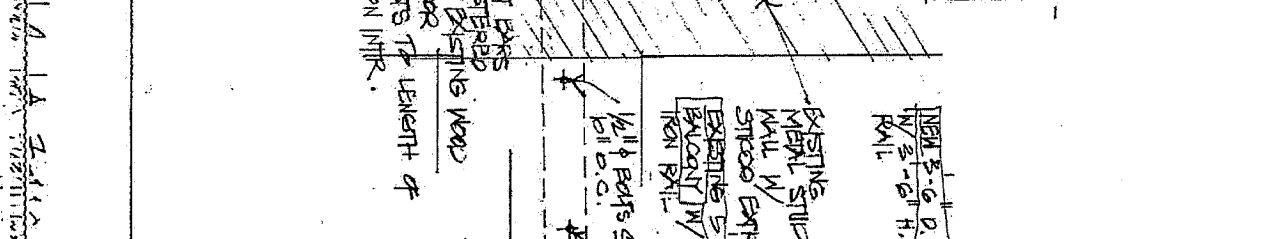
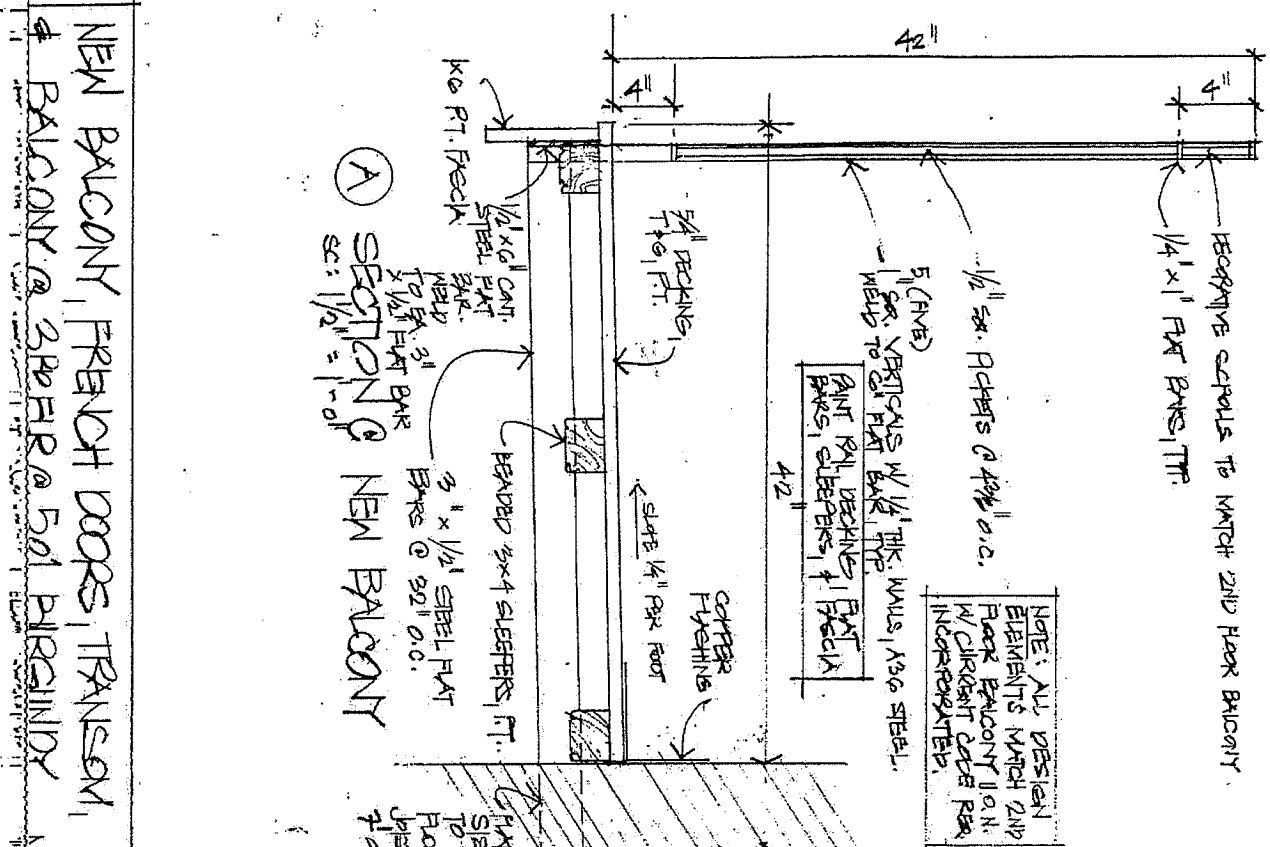
Respectfully yours,

Robert D. Rivers, Director
May 22, 2014

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of "no objection" by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

Item #2

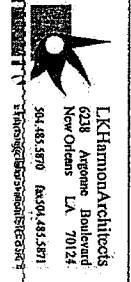
Consideration: A request by R and D Enterprises Gulf Region, Inc., for a grant of a predial servitude, for the proposed encroachment of a cantilever balcony on/over the St. Louis Street public right-of-way (and existing balcony on/over St. Louis Street and Burgundy Street public rights-of-way), adjacent to Lot 9, Square 99, 2nd M.D., bounded St. Louis Street, N. Rampart Street, Toulouse Street, and Burgundy Street. The municipal address of the property is 501 Burgundy Street.



NEW BALCONY, FRENCH DOORS, TRANSOM,
BALCONY @ 3RD FLOOR 501 BIRGINIX

SECTION A

SECTION A

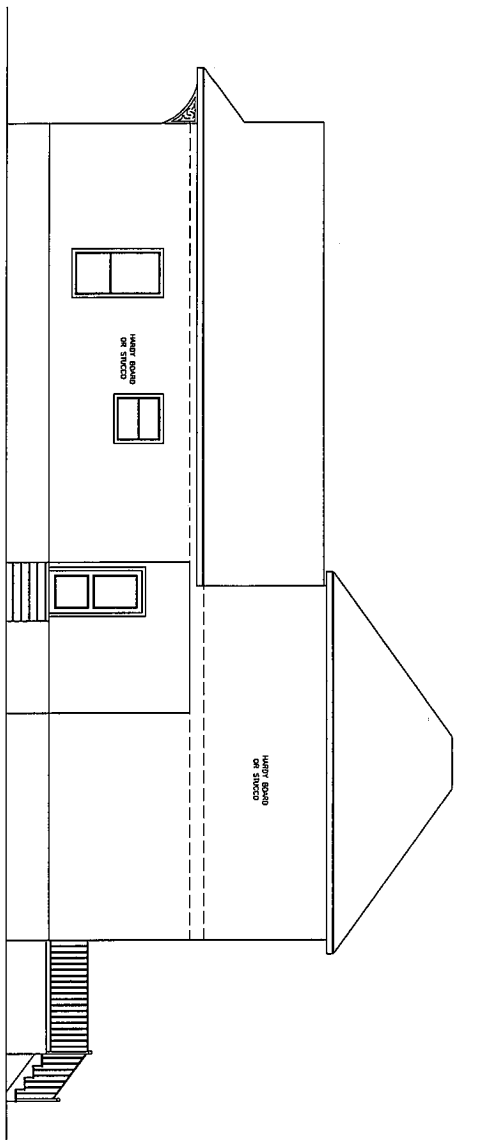


LKHAMMO ARCHITECTS
6238 Argonne Boulevard
New Orleans, LA 70124
504.483.5870 FAX 504.483.5871
LKHAMMO@GMAIL.COM

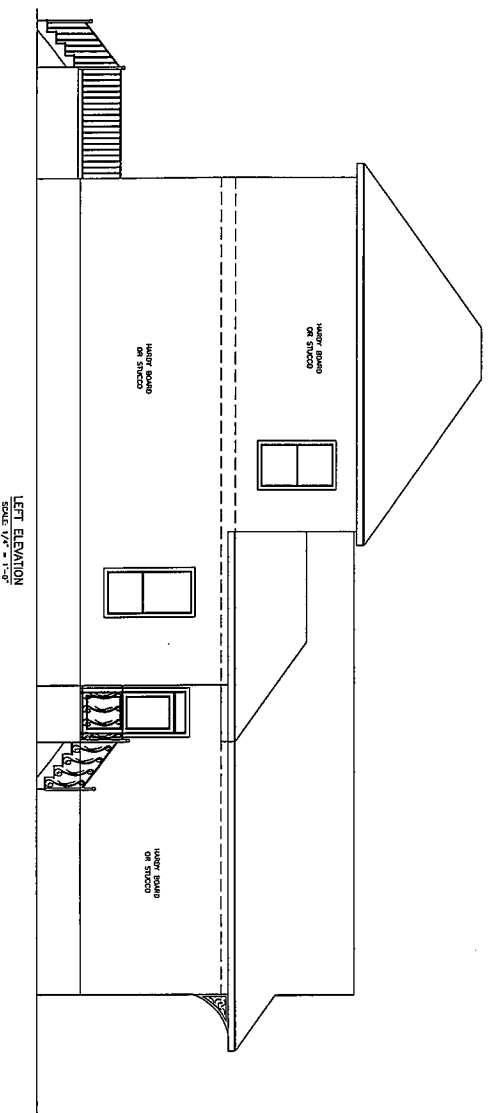
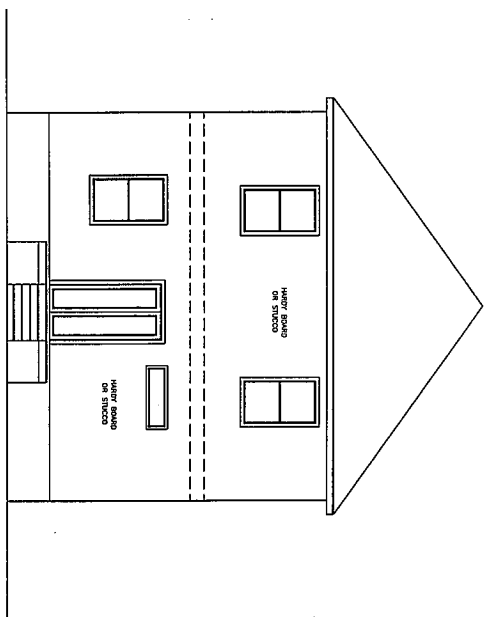
1/4" = 1'-0"

Item #3

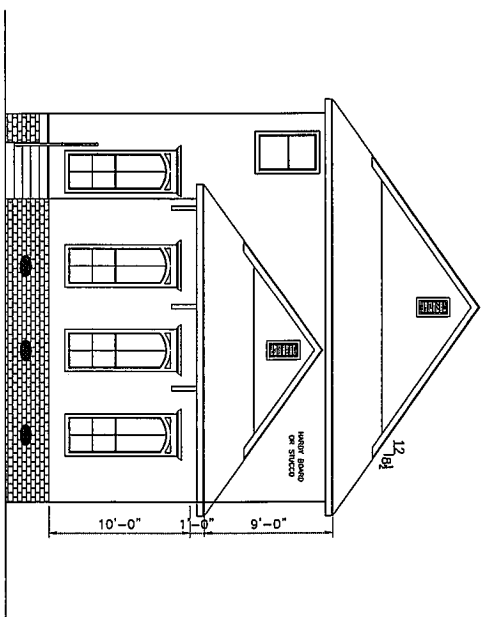
Consideration: ZONING DOCKET 052/14 – Request by B.O.I. CONSTRUCTION, LLC for a Conditional Use to permit four townhouses and a single-family residence in an LI Light Industrial District, on Square 242, Part Lot 5 and 6 and Lots 6 and 7 or Lot 5 and part of Lot 6 and Lot 7 and part of Lot 7 or Lot 5-HF6 and Lot 7-HF6, in the First Municipal District, bounded by Carondelet, Terpsichore, and Baronne Streets and Martin Luther King, Jr. Boulevard. The municipal addresses are 1503-09 CARONDELET STREET. (PD 2)



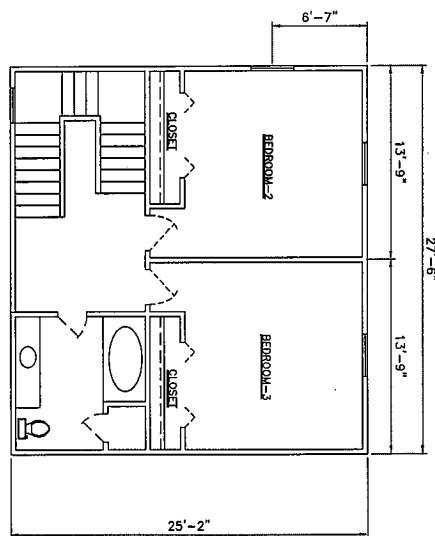
RIGHT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



LARRY		SADAT SPENCER	
TRUMBATUR		SADAT SPENCER	
504-275-3508		504-275-3508	
4-2-14		4-2-14	
3 OF 3		3 OF 3	



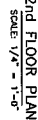
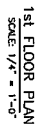
SQUARE FTG	
1ST FLOOR LIVING	1463
2ND FLOOR LIVING	526
PATIO	24
TOTAL	2013

Architectural floor plan of a four-unit residential building. The plan is divided into four identical units by vertical dashed lines. Each unit contains a kitchen area with a sink and stove, a living area with a fireplace, a dining area, a bedroom, and a bathroom. The text "WATER SINKS ON SHOCK" is repeated in each unit's kitchen area.

Architectural drawing of the front elevation of a three-story building. The drawing shows a symmetrical facade with a central entrance and two side wings. The central entrance features a recessed door and a large window above it. The side wings have large windows and doors. The drawing includes dimensions for the various sections: 10'-0" for the side wings, 1'-0" for the central entrance, and 9'-0" for the side wings. The drawing also shows the building's foundation and roofline.

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

LARRY		SAOAT SPENCER	
TRUMBATURRI			
8307 LANTIER CT. CHALMERS, LA. 70043		DATE	SHEET NO.
504-279-3508 (ask me 6665)		3-25-14	3 OF 3



SQUARE FTG	
PORCH	24
GOOD UNING	697
GOOD UNING	978
BARAGE	286
DIAL	1985

ENERGY PERFORMANCE RATING: U-FACTOR=.55; SOLAR HEAT GAIN COEFFICIENT=.35

DOORS

WORLD BANK GROUP PROTECTION

1. AIRTIGHT VENTILATION WILL BE CONTINUOUS RIDGE VENTS AND
PREFRATED SOFFITS.

2. TYPICAL SHIELDS WILL BE 25 GA GALVANIZED AT EACH PIER UNDER
SILL.

4. CARBON MONOXIDE DETECTORS WILL BE PROVIDED OUTSIDE OF SLEEPING AREAS PER SEC. RJ15, REC 2009 ED.

6. PORCH COLLAR THE DOWN FOR LOAD TRANSFER WILL BE SHAPED TO MATCH THE ST 2 1/2.

7. REGULATION WILL BE AS FOLLOWS: PER SEC. R1102, INC 2
FLOORS - R-12
WALL - R-13
CEILING - R-10

8. FOR TWO FAMILY RESIDENTS PROVIDE 1" CRISTAL BOARD ON EACH SIDE OF WALL, MINUS TO BOTTOM OF OR ROOM FOR 1 HOUR FIRST SEPARATION.

9. ROOF OVER HALL EXTENDING INTO 3" SIDE YARD SHALL HAVE ONE HOUR FIRE RESISTIVE CONSTRUCTION ON UNDER SIDE. R302, IBC 2003 ED.

10. PHOTOC SMOKE DETECTOR AS PER SECTION 15.13 BC 2009.

12) JAWBONE MATERIAL USED BELOW DESIGN FLOOD ELEVATION SHALL COMPLY WITH SEC. 8 322-2. IRC 2009 FOR WATER 117. OTHER FLOOD EFFECTS SHALL COMPLY WITH SECTION 806 IRC 2009.

13. PROVIDE WHO BONE DENSITY BY ACCORDANCE WITH
R0012.12 DEC 2009.

14. WINDOWS INSTALLED IN BATHROOM ENCLOSURES LESS THAN 60" F.S.F. REQUIRE SAFETY GLAZING ACCORDING TO RULE 4, § 2009, ALSO FOR WINDOWS WITHIN 2' OF DOORS AND WITHIN

18. CLADDING WHERE BOTTOM EDGE IS LESS THAN 16" ABOVE FINISHED GRADE.

GENERAL NOTES:

ALL MATERIALS BELOW THE BASE FLOOD ELEVATION WILL BE REMOVED

Copyright © 2006 John Wiley & Sons, Ltd.

PROP. POWER: 1000 WATT
WIND. SPEED: 130 MPH
1. THE 1000 WATT PROP.

2. WOOD FRAME CONSTRUCTION AND TWO FAMILY DWELLINGS

3. ADDITIONAL CODE OF PRESUMPTIVE CONSTRUCTION (PCC600).

LARRY	SADAT SPENCER
-------	---------------

IMBATTIBI

3-24-14

1500	6/7	40
------	-----	----

Item #4

Consideration: ZONING DOCKET 053/14 – Request by 99 CORPORATION, INC. for a Conditional Use to permit the sale of alcoholic beverages for on-premises consumption at an existing amusement place within a C-1 General Commercial District and the Eastern New Orleans UC Urban Corridor District, on an undesignated square, Lot H-6 or H6, in the Third Municipal District, bounded by Chef Menteur Highway, Michoud Boulevard, and the Interstate 510 North on-ramp. The municipal addresses are 13235 CHEF MENTEUR HIGHWAY, SUITE D AND 4646 MICHOD BOULEVARD. (PD 10)

DOOR SCHEDULE									
NO.	TYPE OF MATERIAL	WALL	HT.	LC	PAVE	GLZ	HEADINGS	HT.	REMARKS
1	EXPT ALUM. SLIDES	1HR 3.0	4.5	1.5	NO	TEMP	1.5	1	PAINTED IN
2	FLUSH STL DR.	"	"	"	"	STL	"	"	"
3	WOOD SOLID CORE	"	"	"	"	WOOD	"	"	"
							LOOK		

[illegible]

DOOR SCHEDULE									
NO.	TYPE OF MATERIAL	COND.	WID.	H.	TL.	POUNDS	SQ. FT.	LOCATION	REMARKS
1	BRIST ALUM. GLASS	11/2	3'0	4'6	1/2	1400	14.00	TRAP	LOCKERS
2	BRIST. STYL. OR	"	"	"	"	STL.	"	"	LOCKERS
3	WOOD SOLID CASE	"	"	"	"	WOOD	"	"	LOCK

[illegible][illegible][illegible]

1. COOL CONDUITS
 Reduction in heat or energy
 requirements of type
 12C 2009

2. HIGH WIND STORMS OVER 4 ft 10"

3. INTERNATIONAL STUDYING THE AIRBORNE
 RESISTANCE

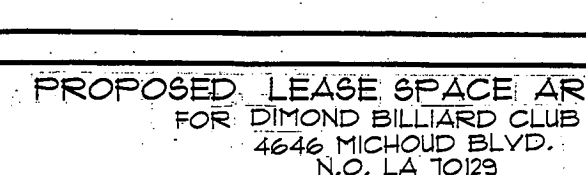
ORDER WIND SPEED
 = 130 mph

ACADEMIC CHIEF-M

EXTENDING

NOTED BY MICHAEL
 NEW ORLEANS LA
 LOT 416

REPORT



DATE	NOV - 3 - 72
SCAL	4000
1 - 11 - 212	
SHEET	

[illegible]

DATE	NOV-20-72
SCALE	AS SHOWN
JOB NO.	1-11-212
SHEET	

4 SHEETS

A-1

[illegible]

Patients with and without right hemiparesis, including, for illustration, the woman in Figure 1.

Measures made by movement with the bottom edge of a sheet (one of three) are shown in Figure 2. A decrease in the amount of arm and trunk motion is seen with the sheet which simulates the "slide sheet," and a decrease in trunk motion is seen with the sheet which simulates the "roll sheet." In the case of the woman in Figure 1, the amount of trunk motion is decreased with the sheet which simulates the "roll sheet" and the amount of arm motion is decreased with the sheet which simulates the "slide sheet."

The three sheets used are shown in Figure 3. The sheet designed to be used by nurses alone (left) gives one side of a sheet to the subject.

¹Private first language would either be French or English. 10% of the bilingual group showed no private first language, and 10% of the monolingual group showed no private first language.

[illegible][illegible]

COMMON PATH OF TRAVEL
15 FT MAX - IBC 2006
20 FT MAX - NFPA & EVERNS
EXIT ACCESS TRAVEL DISTANCE
250 FT MAX - IBC & NFPA
DISPERSED EXIT SEPARATION - 20 FT MAX - IBC NFPA

Architectural drawing of a building elevation, showing a long, narrow structure with multiple windows and a central entrance. The drawing is labeled "FACADE" and "ELEVATION".

Technical drawing of a building facade section. The drawing shows a window with a central door and side panels. The central door is labeled "C" and has a height of 2.10. The side panels are labeled "P" and have a height of 1.50. The total height of the window assembly is 3.60. The drawing includes dimensions for the width of the panels and the door, as well as the overall width of the window assembly. The drawing is oriented vertically on the page.

Diagram illustrating the cross-section of a wall and foundation. The wall is shown with a 'FINISH' line on the exterior and a 'CONCRETE' layer on the interior. The wall is supported by a 'FOUNDATION' which is embedded in the ground. A 'DRAIN' is shown at the base of the wall. The ground is labeled 'GROUND' and 'FINISH'.

[illegible]

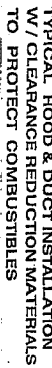
NEA SHANNAN
 CHECKED
 DATE NOV-2012
 SCALE AS SHOWN
 JOB NO. 1-11-212
 SHEET
 A-2
 OF 4 SHEETS

[illegible]

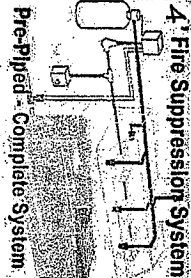
- $$\text{acceleration} = \frac{\text{force}}{\text{mass}}$$

$$200 \times 10^3 / 44 = 4.54 \text{ m/s}^2$$

$$1200 \text{ rpm} \times 2\pi = 1508 \text{ rad/s}$$



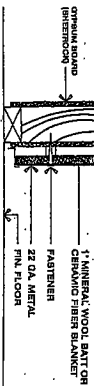
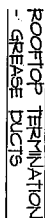
Superior Hoods FIRESUPP-11



Fire suppression systems

[illegible]

In conversation with NHPA 95 code personnel, this office is able to confirm that rooftop grease duct terminations (as shown below) must be welded. Safety joints are not acceptable.



PROVIDE PROTECTION TO THE FLOOR WHERE WOOD STUD WALLS OCCUR. SEE NFPA 96.4.2.4.3



PROPOSED LEASE SPACE ARRANGEMENT
FOR DIMOND BILLIARD CLUB
4646 MICHOU D BLYD.
N.O. LA 70129

[illegible]

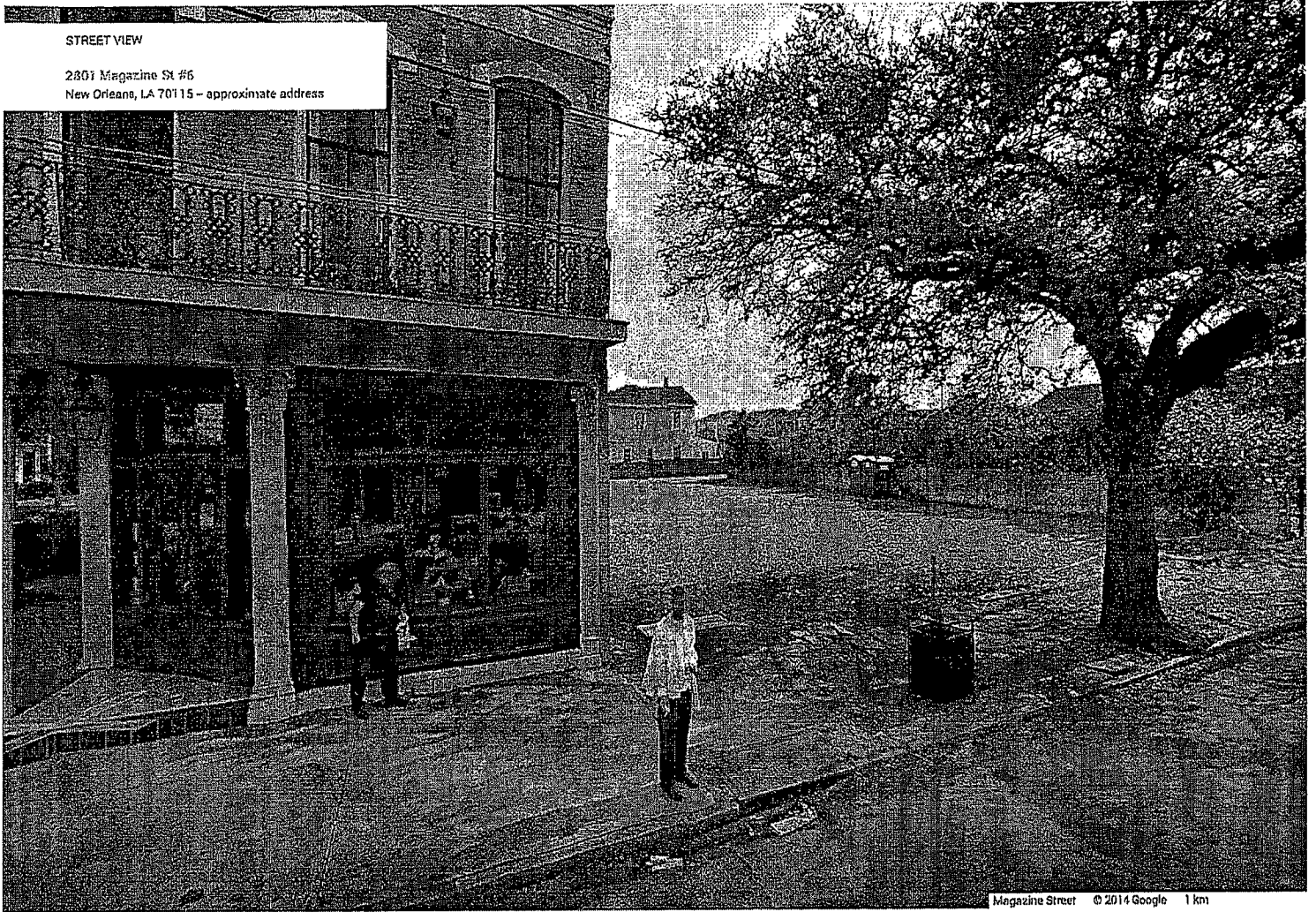
DRAWN
 FILED
 SEARCHED
 INDEXED
 MAR 22 1962
 FBI - NEW YORK
 JAGD NO. 1-11-212
 SHEET
 A-3
 4 SHEETS

Item #5

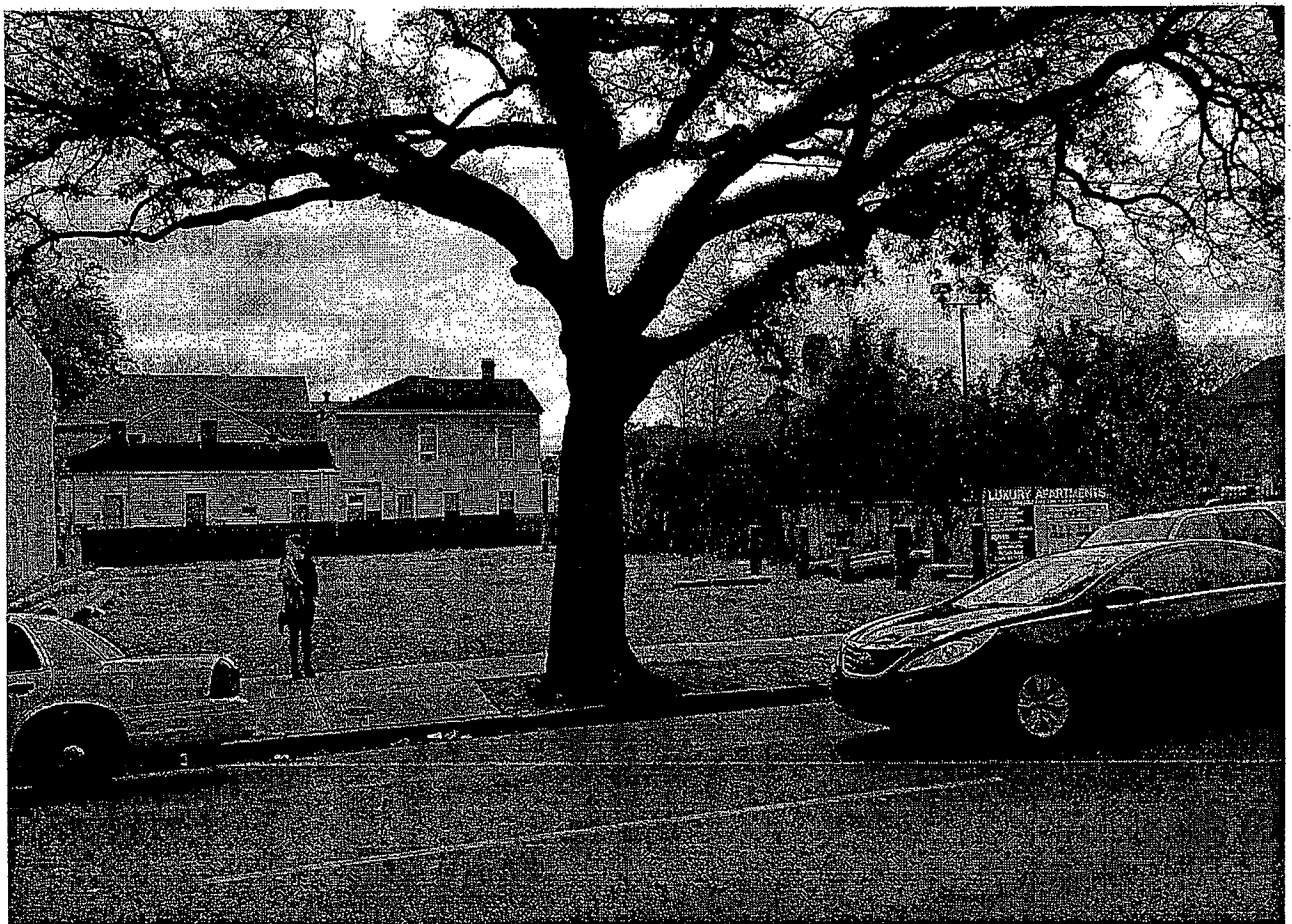
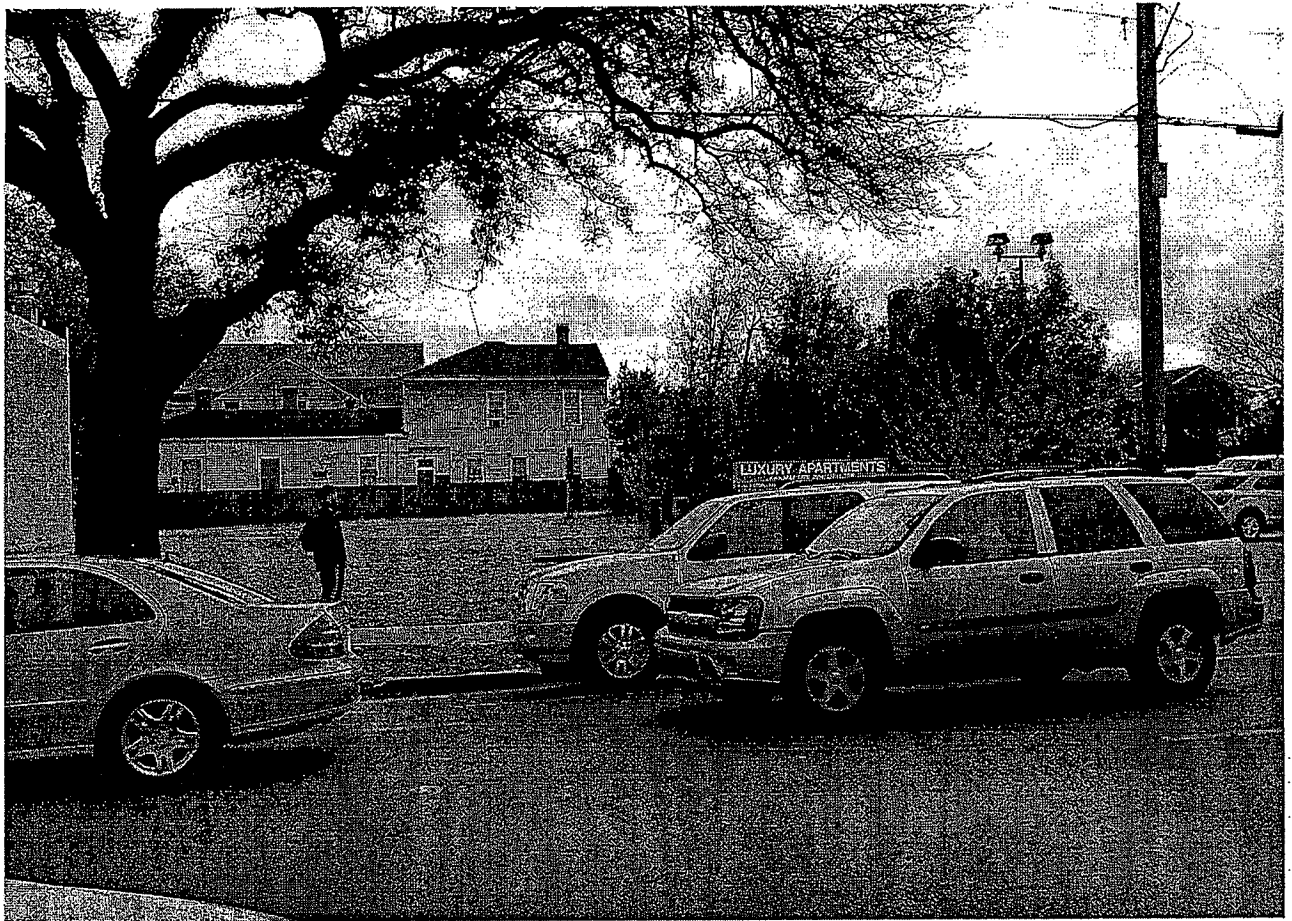
Consideration: ZONING DOCKET 054/14 – Request by 2802 MAGAZINE STREET, LLC for a Conditional Use to permit the sale of alcoholic beverages for on-premises consumption at a restaurant in a B-1A Neighborhood Business District, on Square 128, Lot KM, in the Fourth Municipal District, bounded by Magazine, Sixth, and Constance Streets and Washington Avenue. The municipal address is 2802 MAGAZINE STREET. (PD 2)

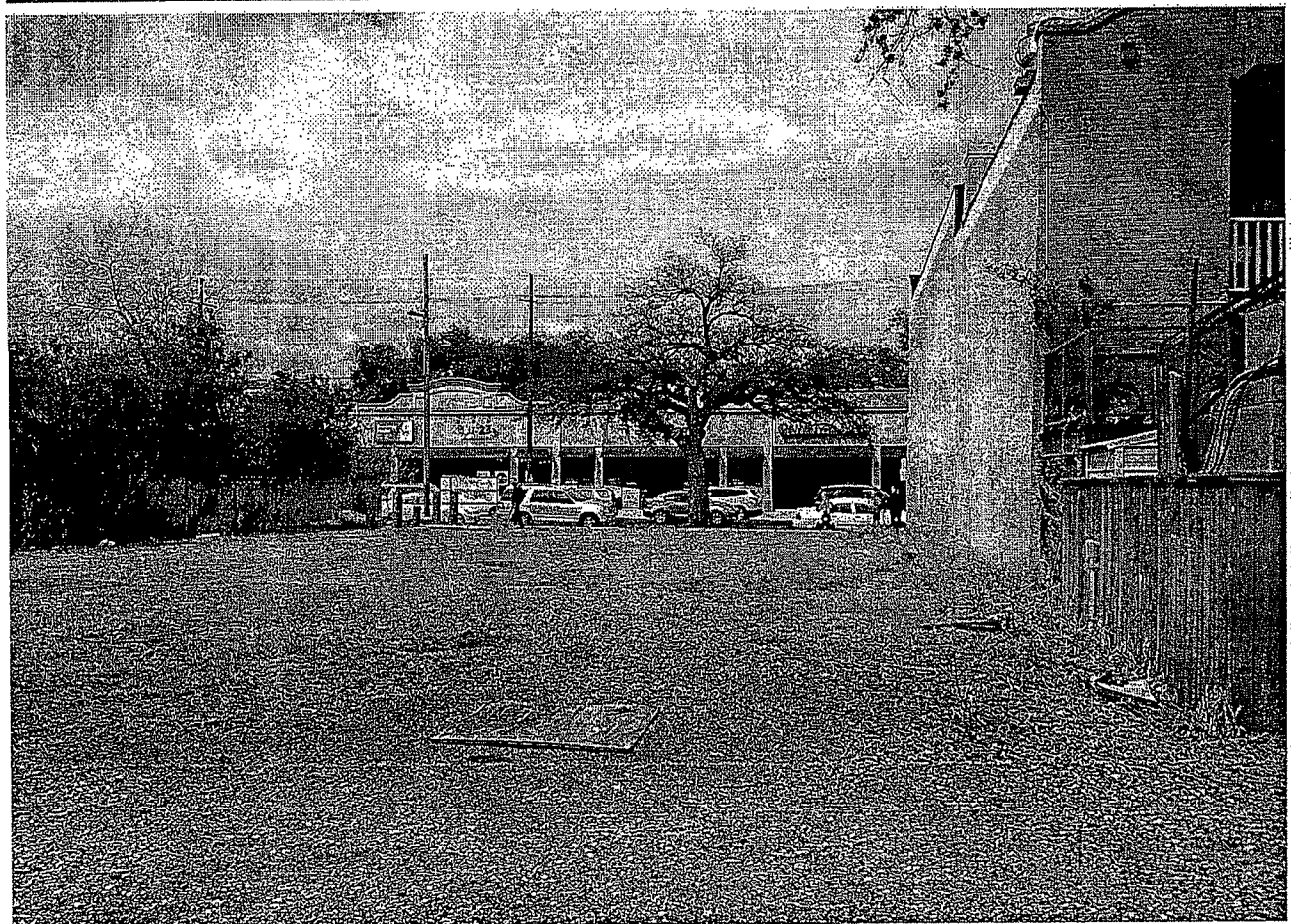
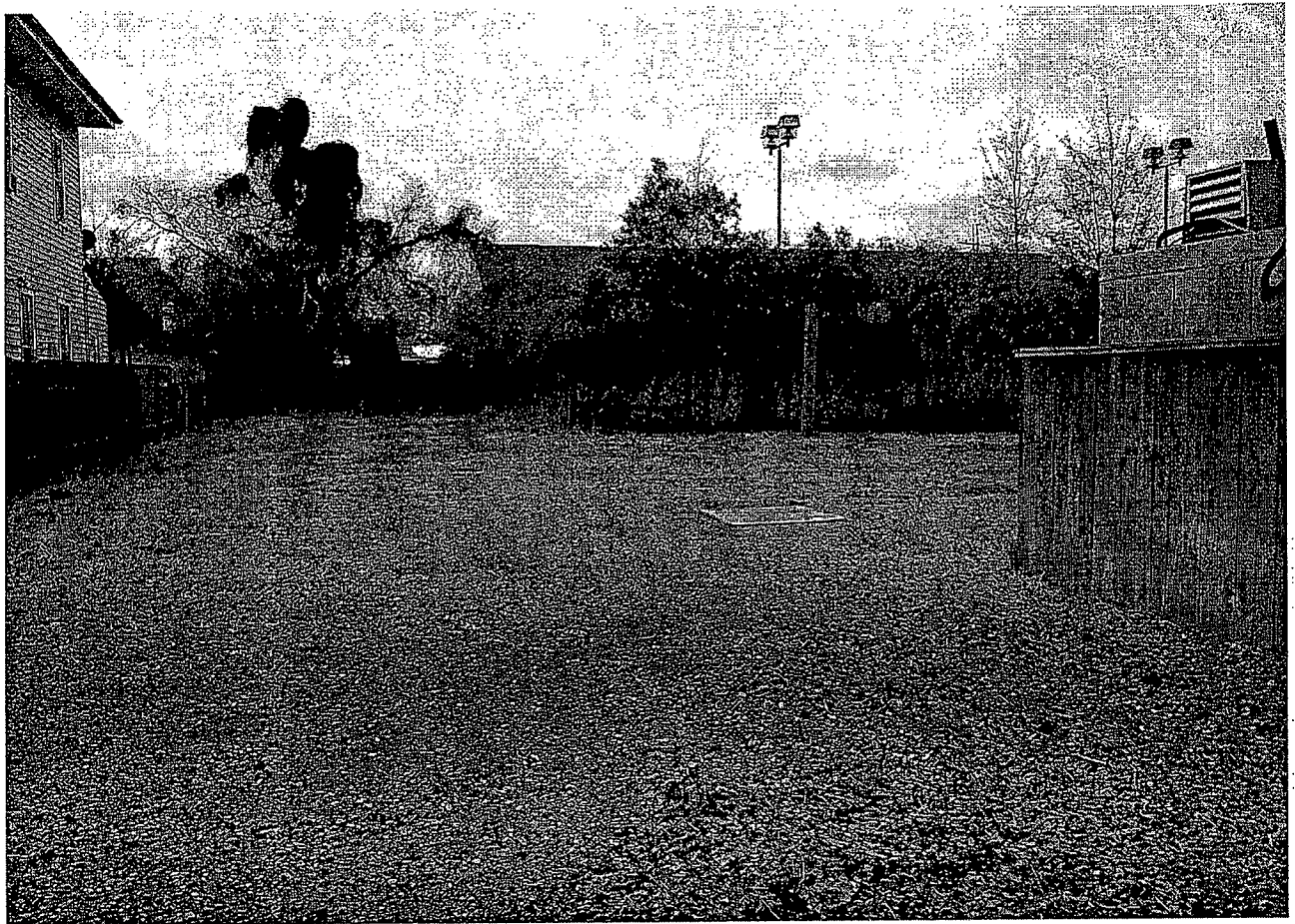
STREET VIEW

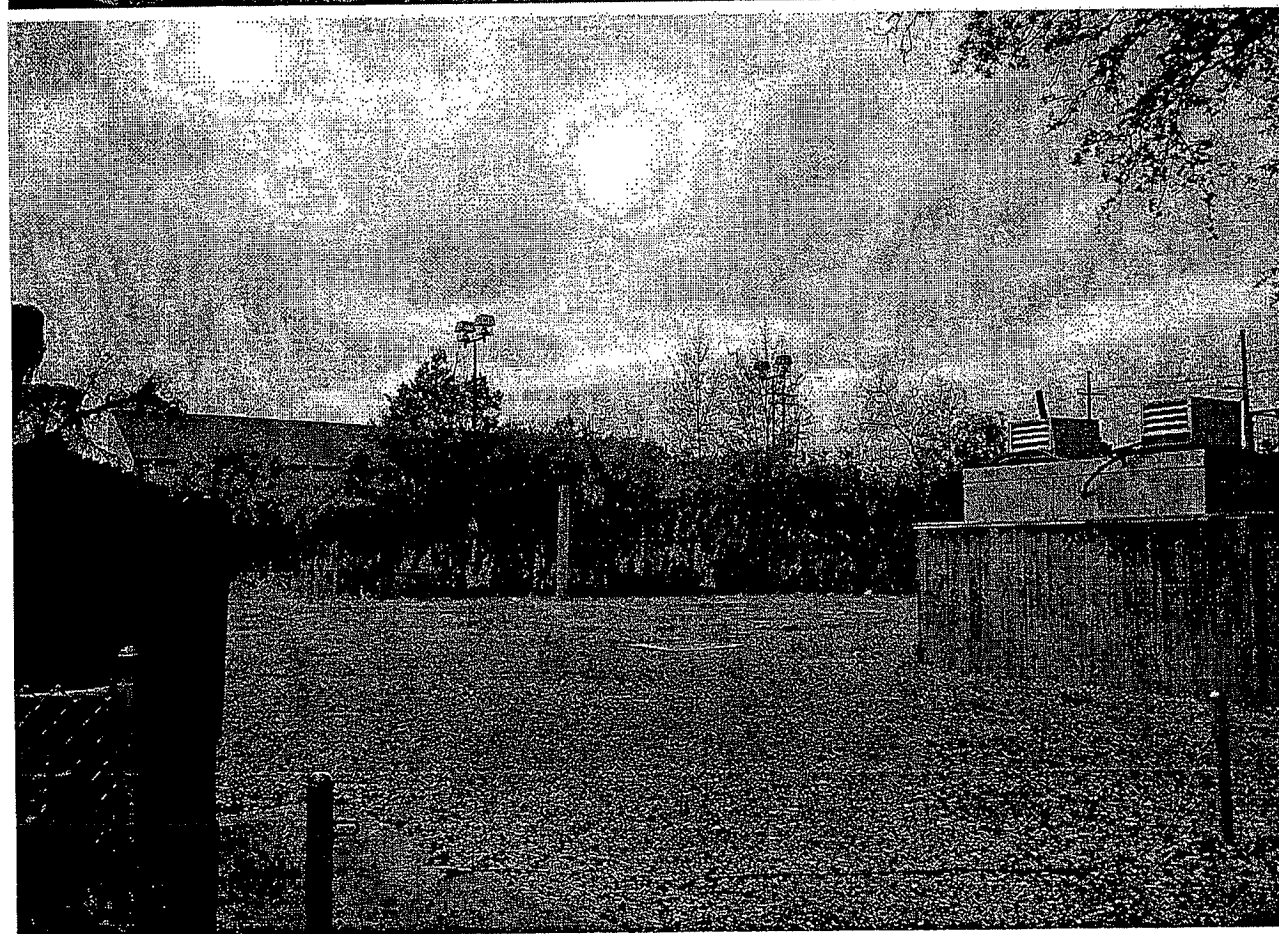
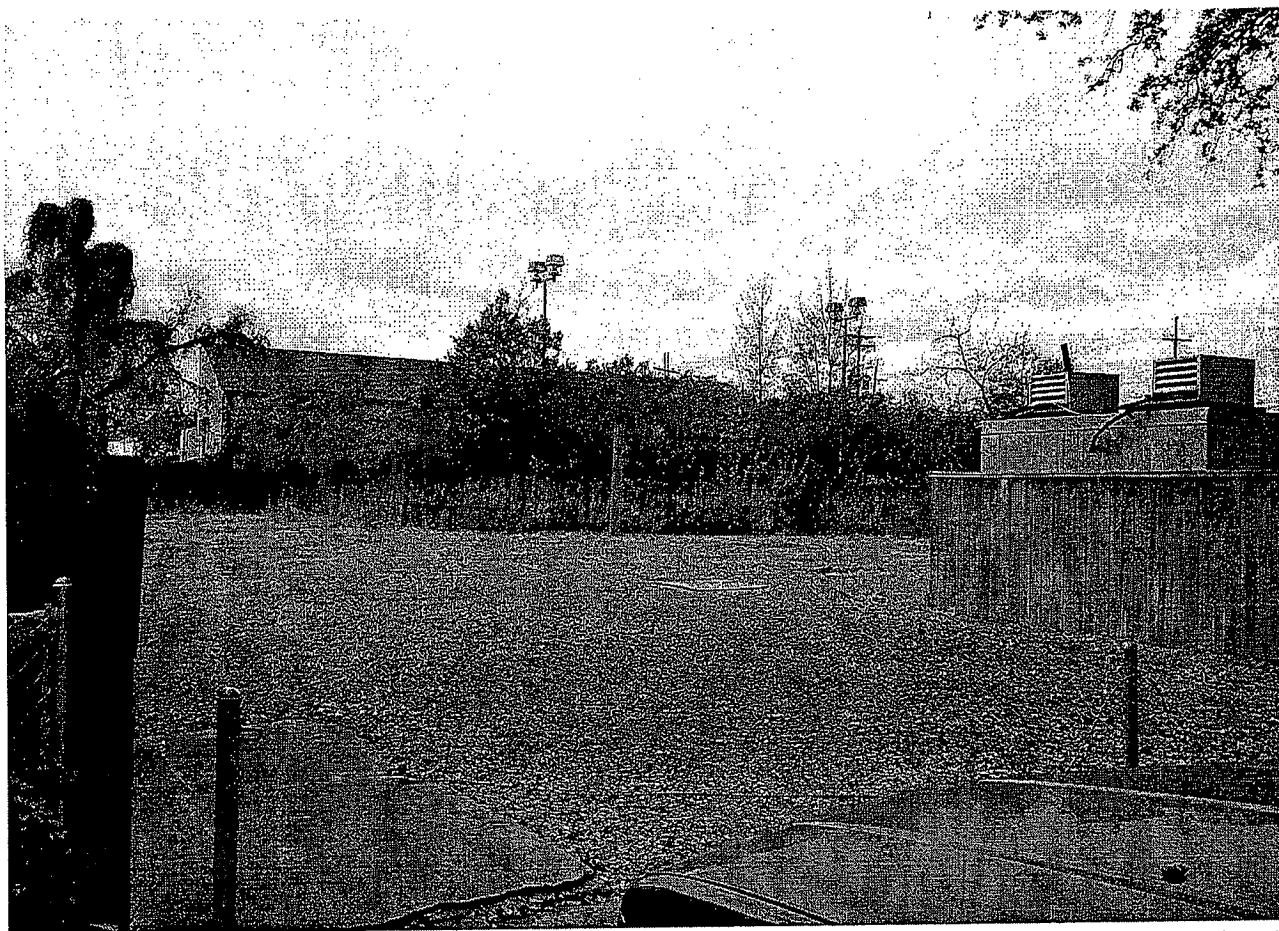
2801 Magazine St #6
New Orleans, LA 70115 - approximate address

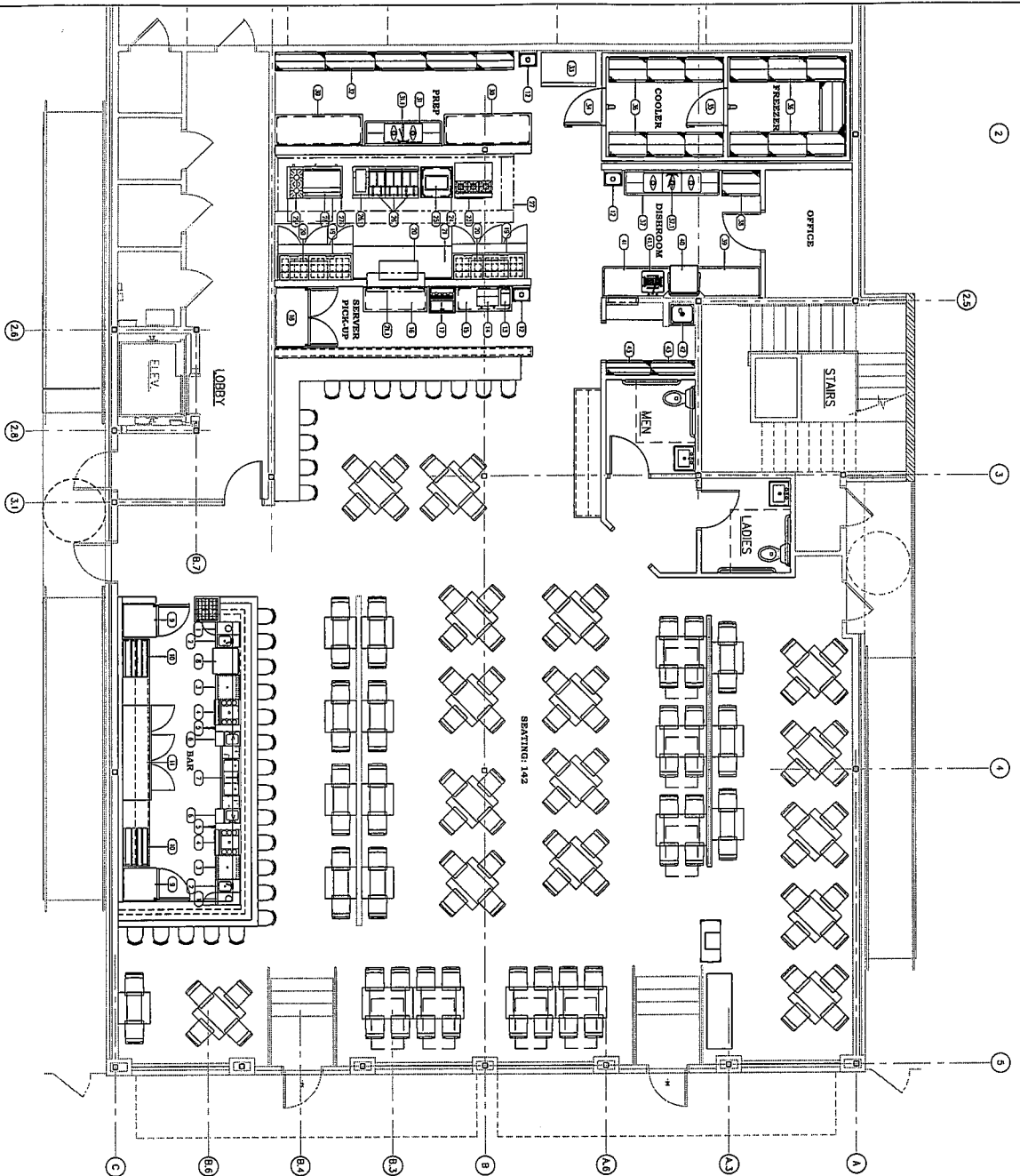


Magazine Street © 2014 Google 1 km

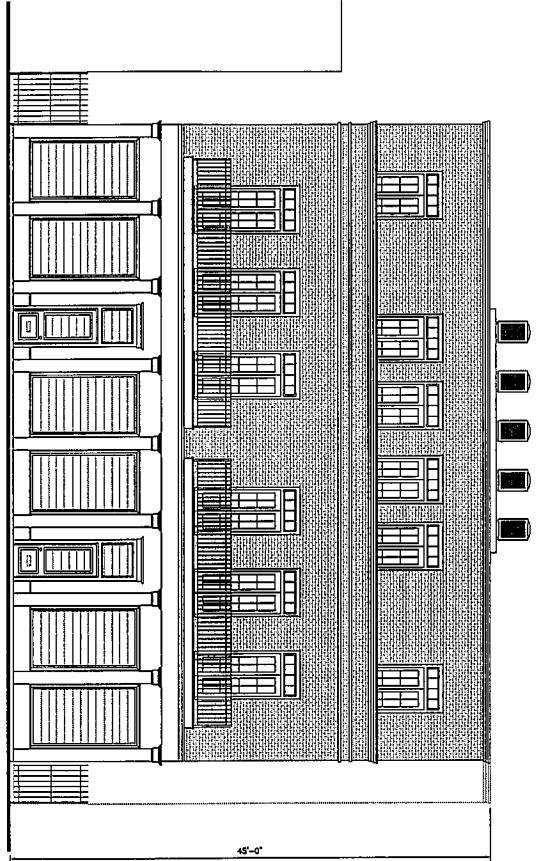




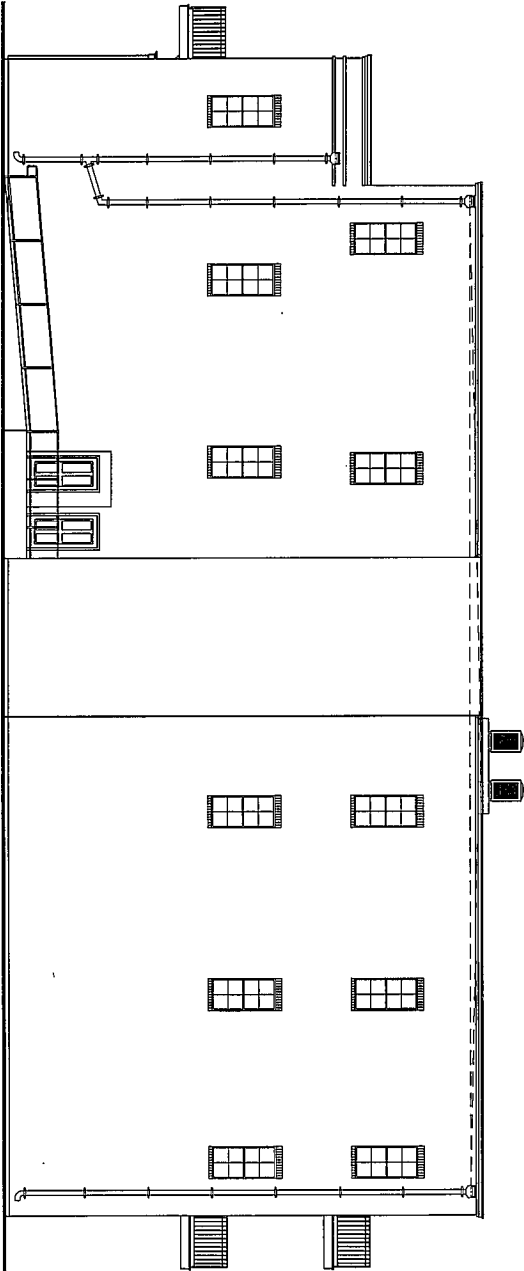




EQUIPMENT SCHEDULE			
NO.	EQUIPMENT CATEGORY	MANUFACTURER	EQUIPMENT
1	STOVE	GE	STOVE
2	REF.	GE	REF.
3	REF.	GE	REF.
4	REF.	GE	REF.
5	REF.	GE	REF.
6	REF.	GE	REF.
7	REF.	GE	REF.
8	REF.	GE	REF.
9	REF.	GE	REF.
10	REF.	GE	REF.
11	REF.	GE	REF.
12	REF.	GE	REF.
13	REF.	GE	REF.
14	REF.	GE	REF.
15	REF.	GE	REF.
16	REF.	GE	REF.
17	REF.	GE	REF.
18	REF.	GE	REF.
19	REF.	GE	REF.
20	REF.	GE	REF.
21	REF.	GE	REF.
22	REF.	GE	REF.
23	REF.	GE	REF.
24	REF.	GE	REF.
25	REF.	GE	REF.
26	REF.	GE	REF.
27	REF.	GE	REF.
28	REF.	GE	REF.
29	REF.	GE	REF.
30	REF.	GE	REF.
31	REF.	GE	REF.
32	REF.	GE	REF.
33	REF.	GE	REF.
34	REF.	GE	REF.
35	REF.	GE	REF.
36	REF.	GE	REF.
37	REF.	GE	REF.
38	REF.	GE	REF.
39	REF.	GE	REF.
40	REF.	GE	REF.
41	REF.	GE	REF.
42	REF.	GE	REF.
43	REF.	GE	REF.
44	REF.	GE	REF.
45	REF.	GE	REF.
46	REF.	GE	REF.
47	REF.	GE	REF.
48	REF.	GE	REF.
49	REF.	GE	REF.
50	REF.	GE	REF.
51	REF.	GE	REF.
52	REF.	GE	REF.
53	REF.	GE	REF.
54	REF.	GE	REF.
55	REF.	GE	REF.
56	REF.	GE	REF.
57	REF.	GE	REF.
58	REF.	GE	REF.
59	REF.	GE	REF.
60	REF.	GE	REF.
61	REF.	GE	REF.
62	REF.	GE	REF.
63	REF.	GE	REF.
64	REF.	GE	REF.
65	REF.	GE	REF.
66	REF.	GE	REF.
67	REF.	GE	REF.
68	REF.	GE	REF.
69	REF.	GE	REF.
70	REF.	GE	REF.
71	REF.	GE	REF.
72	REF.	GE	REF.
73	REF.	GE	REF.
74	REF.	GE	REF.
75	REF.	GE	REF.
76	REF.	GE	REF.
77	REF.	GE	REF.
78	REF.	GE	REF.
79	REF.	GE	REF.
80	REF.	GE	REF.
81	REF.	GE	REF.
82	REF.	GE	REF.
83	REF.	GE	REF.
84	REF.	GE	REF.
85	REF.	GE	REF.
86	REF.	GE	REF.
87	REF.	GE	REF.
88	REF.	GE	REF.
89	REF.	GE	REF.
90	REF.	GE	REF.
91	REF.	GE	REF.
92	REF.	GE	REF.
93	REF.	GE	REF.
94	REF.	GE	REF.
95	REF.	GE	REF.
96	REF.	GE	REF.
97	REF.	GE	REF.
98	REF.	GE	REF.
99	REF.	GE	REF.
100	REF.	GE	REF.
101	REF.	GE	REF.
102	REF.	GE	REF.
103	REF.	GE	REF.
104	REF.	GE	REF.
105	REF.	GE	REF.
106	REF.	GE	REF.
107	REF.	GE	REF.
108	REF.	GE	REF.
109	REF.	GE	REF.
110	REF.	GE	REF.
111	REF.	GE	REF.
112	REF.	GE	REF.
113	REF.	GE	REF.
114	REF.	GE	REF.
115	REF.	GE	REF.
116	REF.	GE	REF.
117	REF.	GE	REF.
118	REF.	GE	REF.
119	REF.	GE	REF.
120	REF.	GE	REF.
121	REF.	GE	REF.
122	REF.	GE	REF.
123	REF.	GE	REF.
124	REF.	GE	REF.
125	REF.	GE	REF.
126	REF.	GE	REF.
127	REF.	GE	REF.
128	REF.	GE	REF.
129	REF.	GE	REF.
130	REF.	GE	REF.
131	REF.	GE	REF.
132	REF.	GE	REF.
133	REF.	GE	REF.
134	REF.	GE	REF.
135	REF.	GE	REF.
136	REF.	GE	REF.
137	REF.	GE	REF.
138	REF.	GE	REF.
139	REF.	GE	REF.
140	REF.	GE	REF.
141	REF.	GE	REF.
142	REF.	GE	REF.

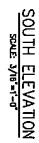


NORTH ELEVATION— MAGAZINE STREET
SCALE 3/8"=1'-0"



WEST ELEVATION
SCALE 3/8"=1'-0"

NEW ORLEANS		LOUISIANA		ALLIED BUILDING COMPANY INC. NEW CONSTRUCTION 2802 MAGAZINE STREET EXTERIOR ELEVATIONS		25% IMPROVEMENT OF 2010 PROJECT NO. 2012-05 SHEET A10.0	
DRAWN CHECKED RMC 12/12 2012-05		2012-05 2012-05 2012-05		2012-05 2012-05 2012-05		2012-05 2012-05 2012-05	
B FOR PRICING ONLY A FOR APPROVAL		01/29/13 12/19/12		RMC RMC		MARK DESCRIPTION DATE BY	

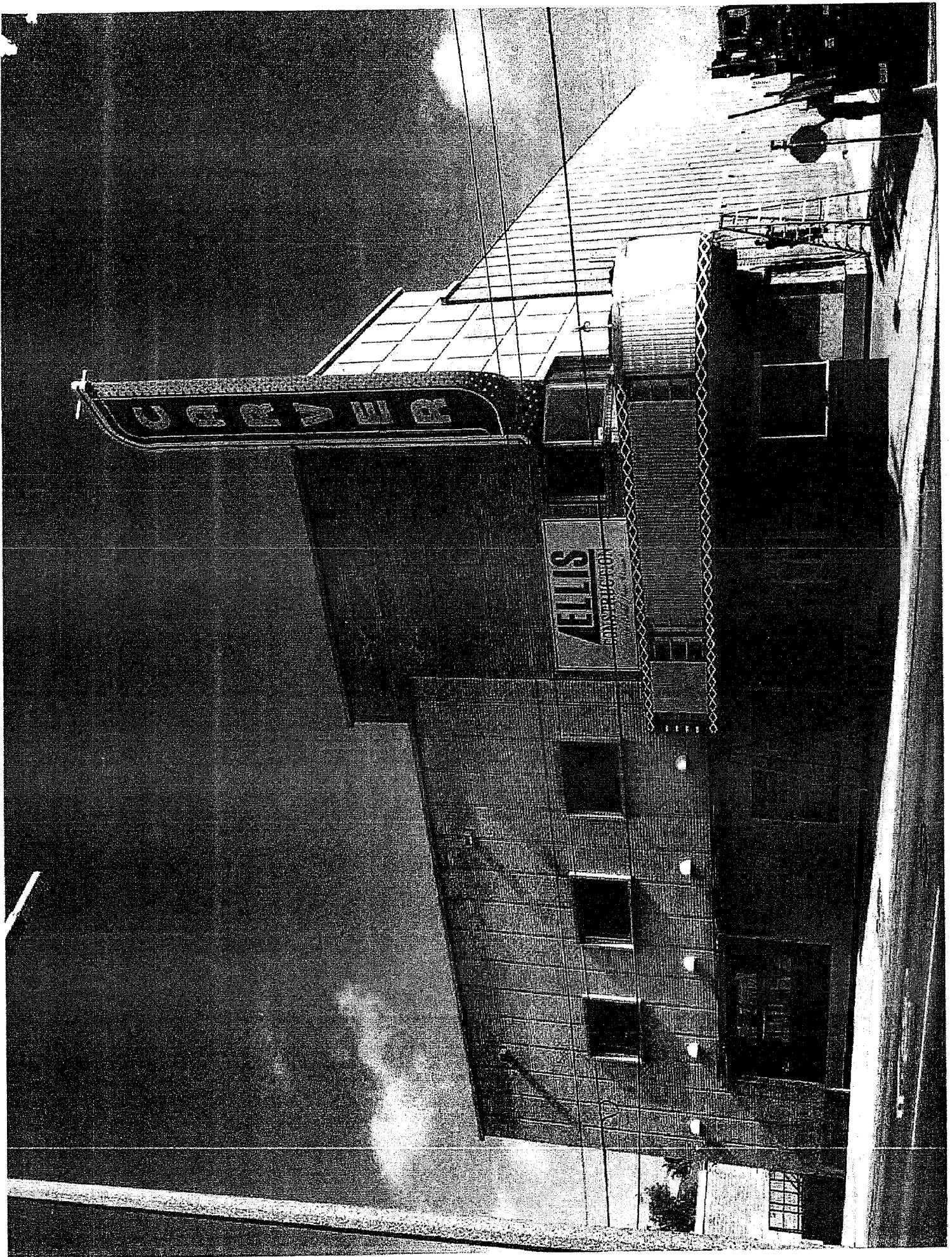


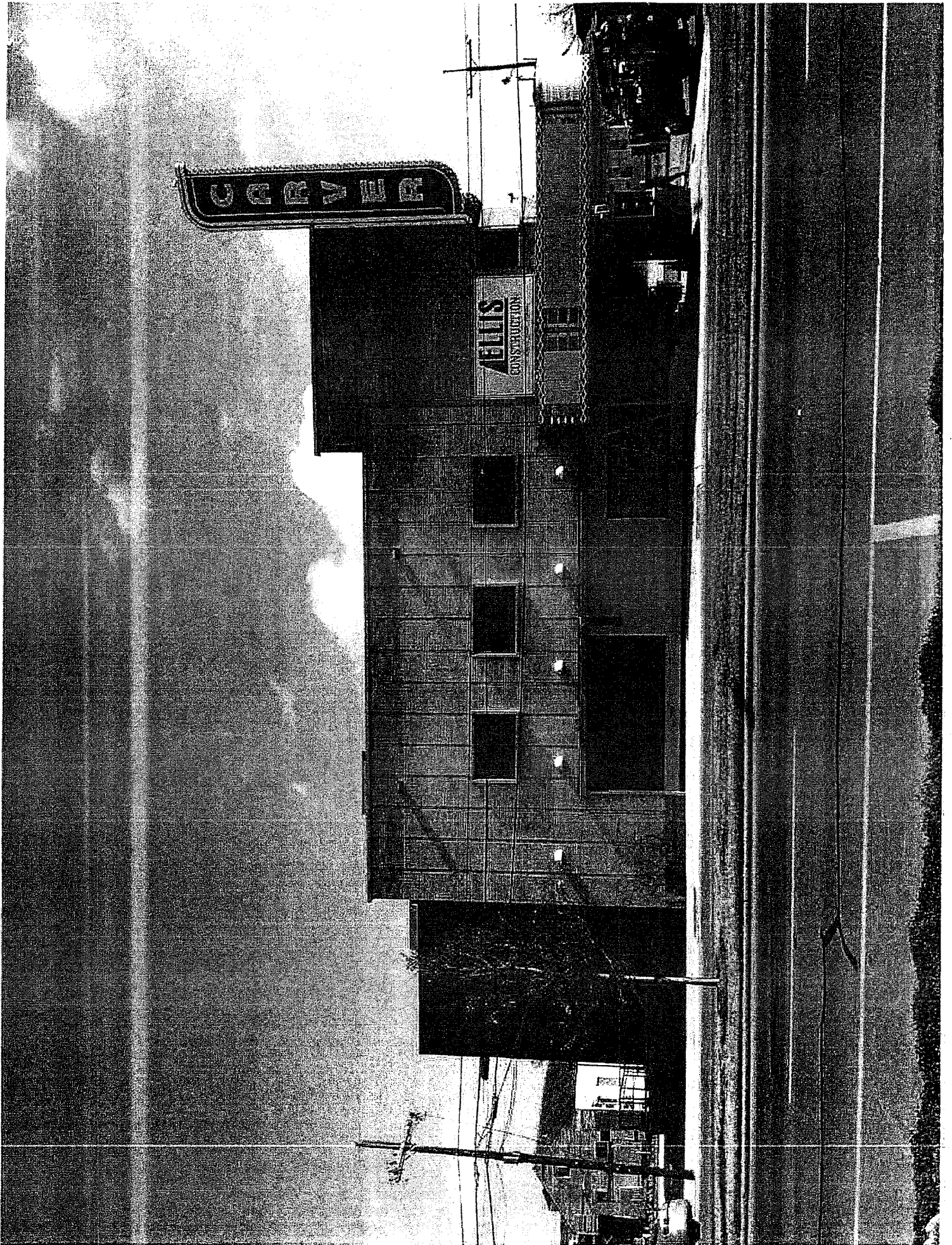
EAST ELEVATION
SCALE: 3/16"=1'-0"

[illegible]

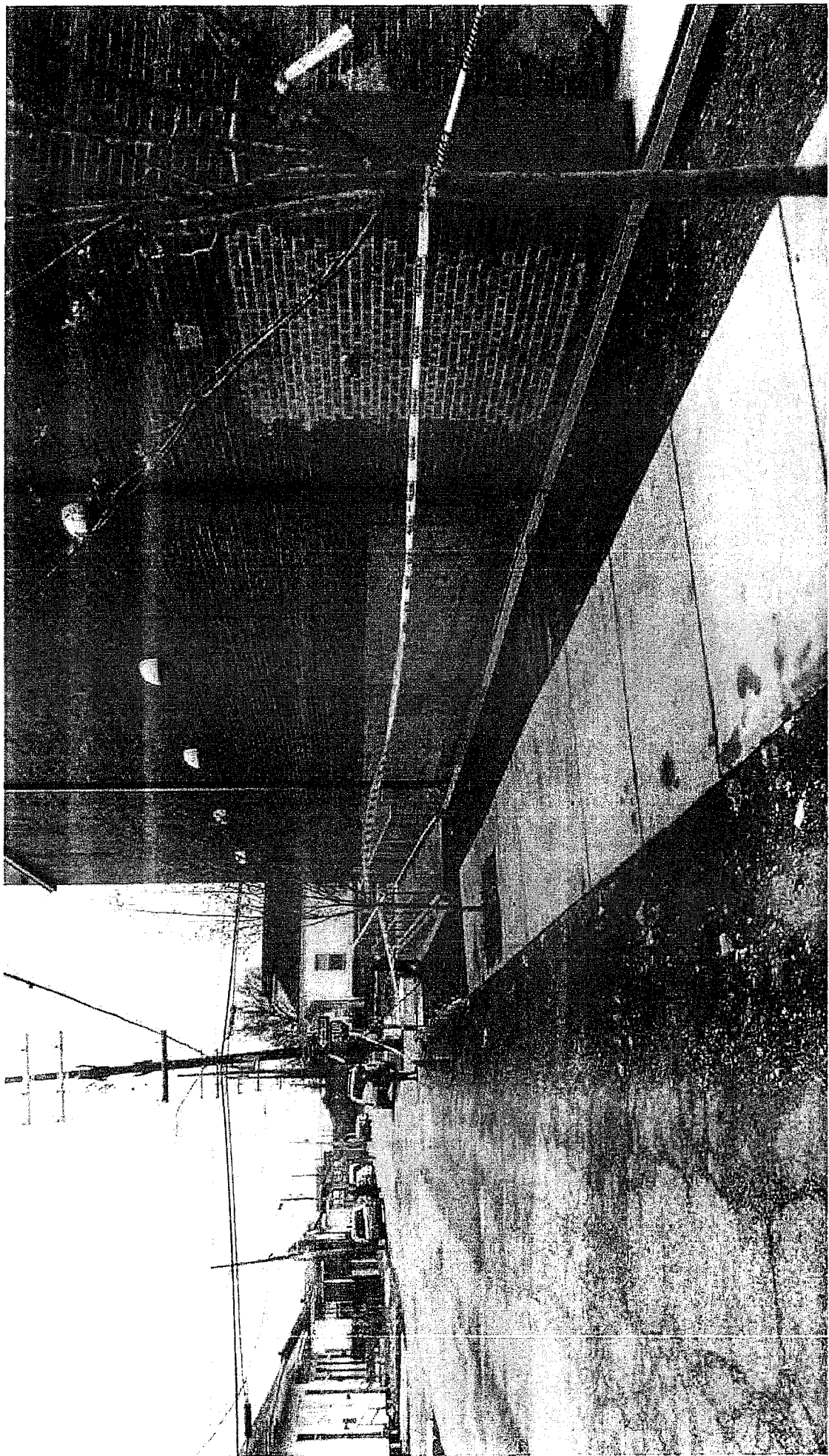
Item #6

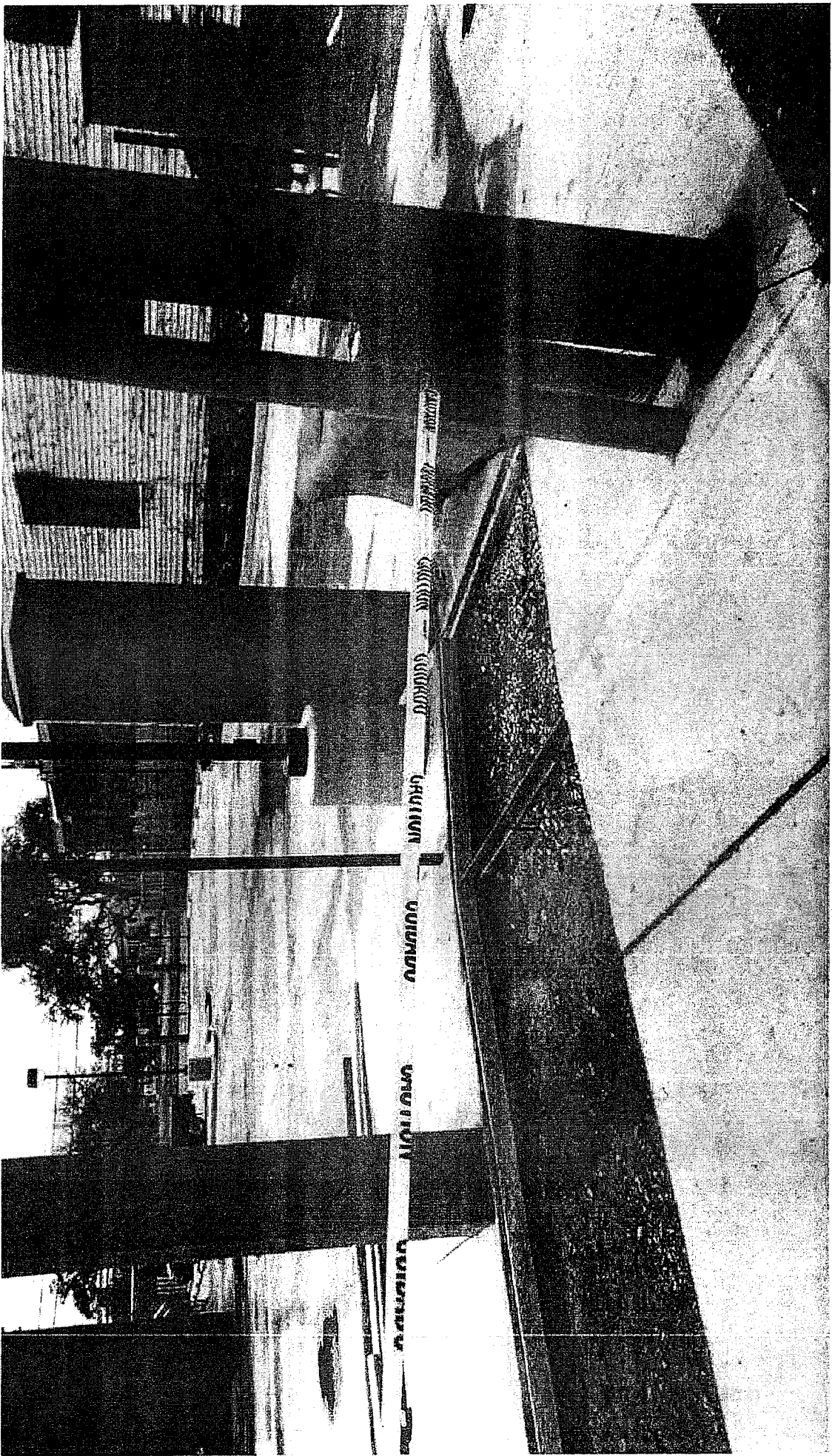
Consideration: **ZONING DOCKET 056/14** – Request by CARVER THEATER, LLC for an Amendment to Ordinance No. 23,859 MCS (Zoning Docket 091/09, which granted a Zoning Change from an RD-3 Two-Family Residential District to a C-1A General Commercial District, on Square 268, Lot 5 or 15; a Zoning Change from an RD-3 Two-Family Residential District to a B-1 Neighborhood Business District, on Square 268, Lot R; and which administratively amended Ordinance No. 23,347 MCS to permit the expansion of an existing structure, on Square 268, Lots 1 or 12, 2 or 11, 3 or 10, A or 13, B or 14, 4, 108, 16 or S, and 5 or 15, and to permit the establishment of accessory parking lots in an RD-3 Two-Family Residential District on Square 268, Lots 97A, 19 or S, and 20 or A, and on Lots 7 and 8 of Square 253, in the Second Municipal District, bounded by Orleans Avenue, North Prieur, Saint Ann, and North Galvez Streets) to permit modifications to the approved site plan specific to right-of-way improvements, including sidewalks, curb cuts, fencing, ramps, and stair landings, on Square 268, Lot A-1, in the Second Municipal District, bounded by Orleans Avenue and North Johnson, North Galvez, and Saint Ann Streets. The municipal address is 2101 ORLEANS AVENUE. (PD 4)

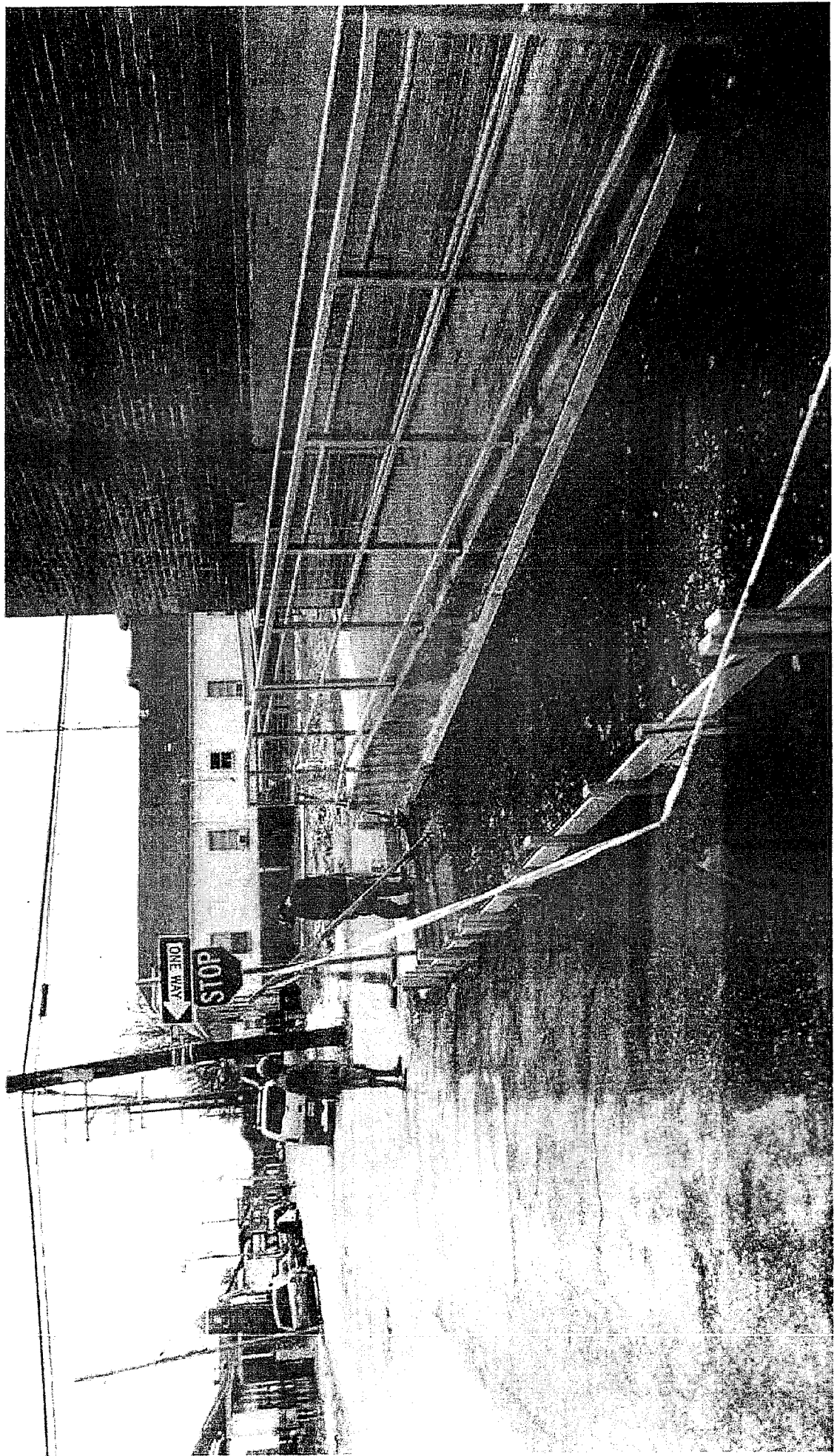


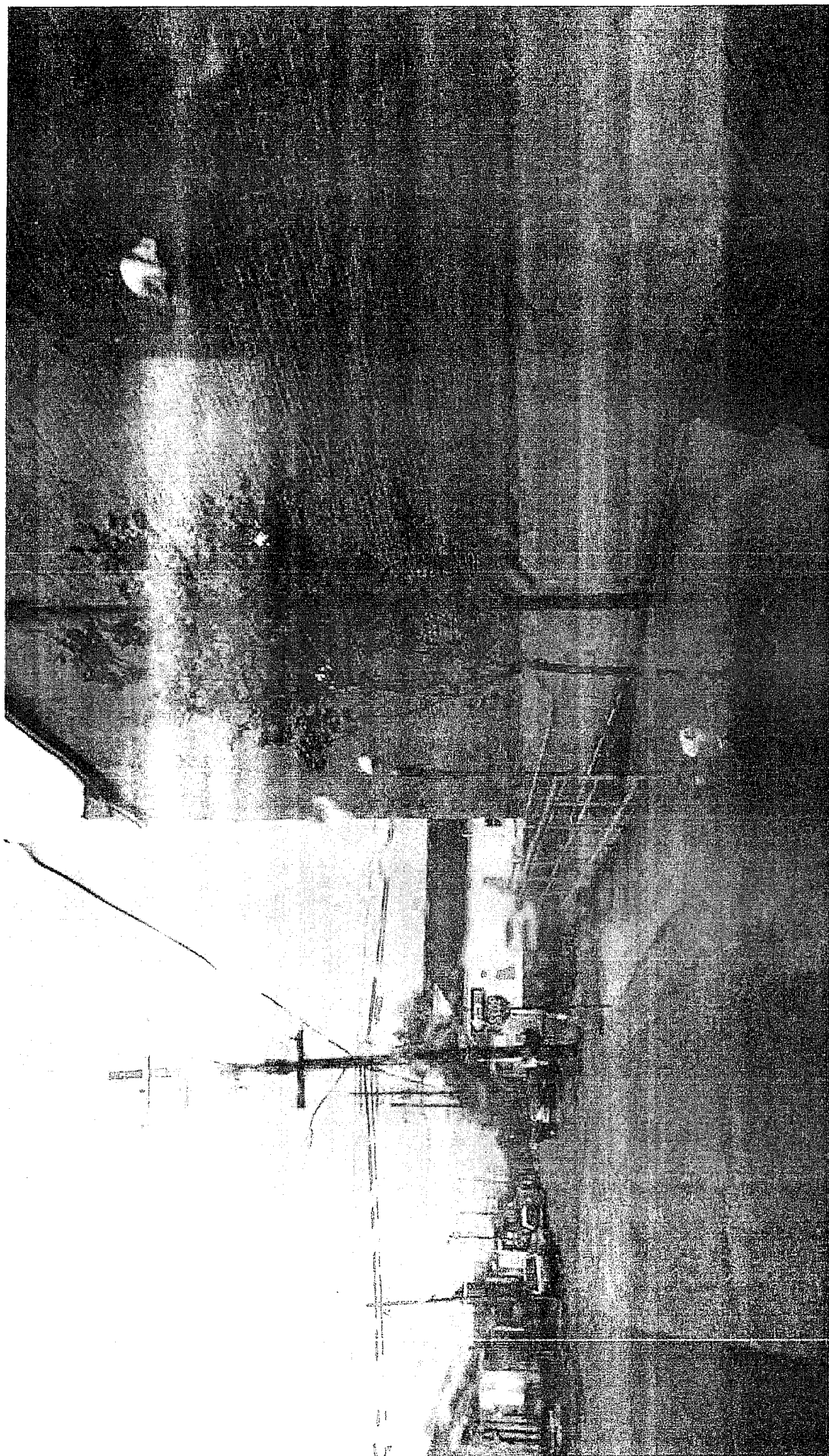






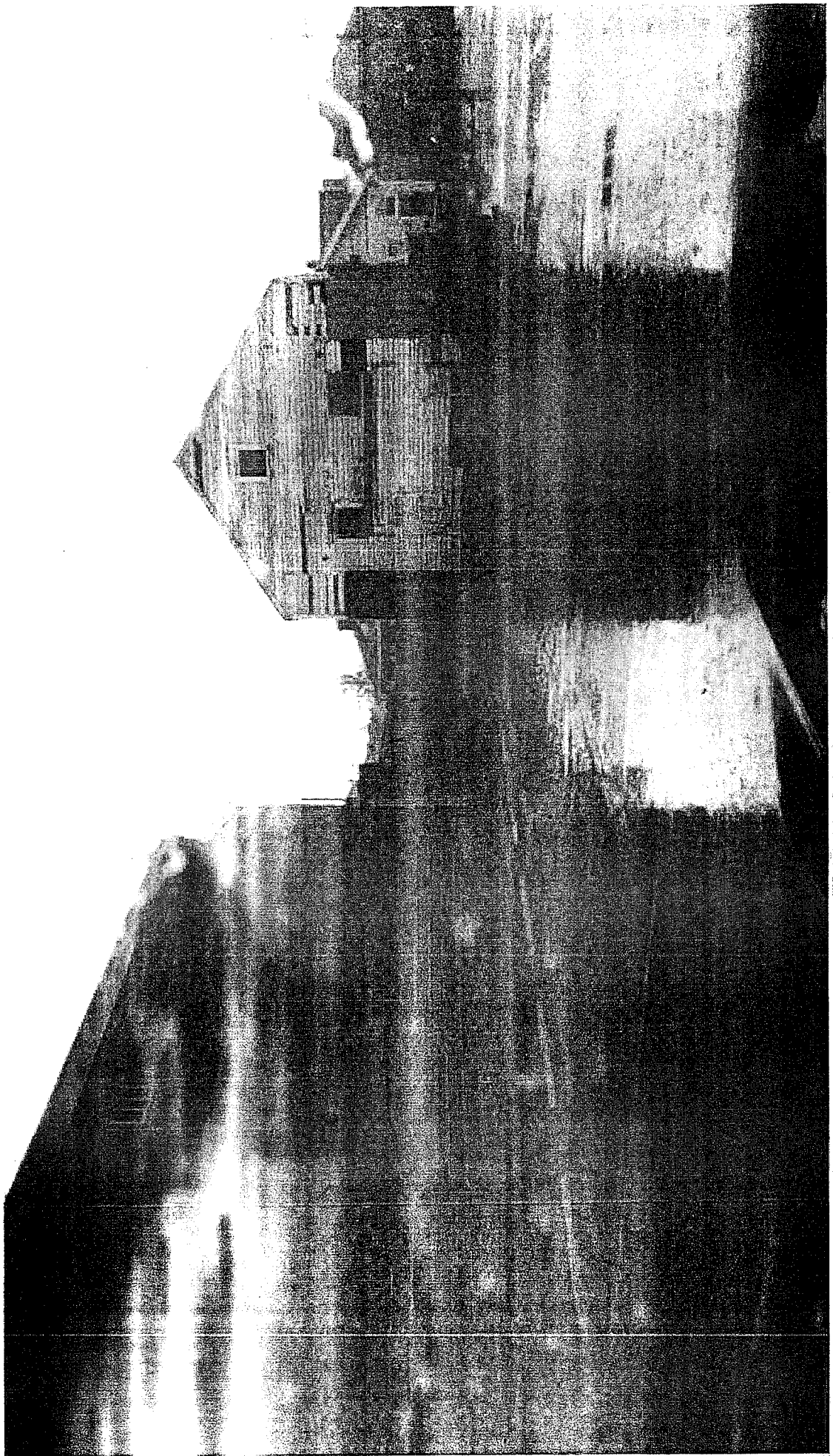




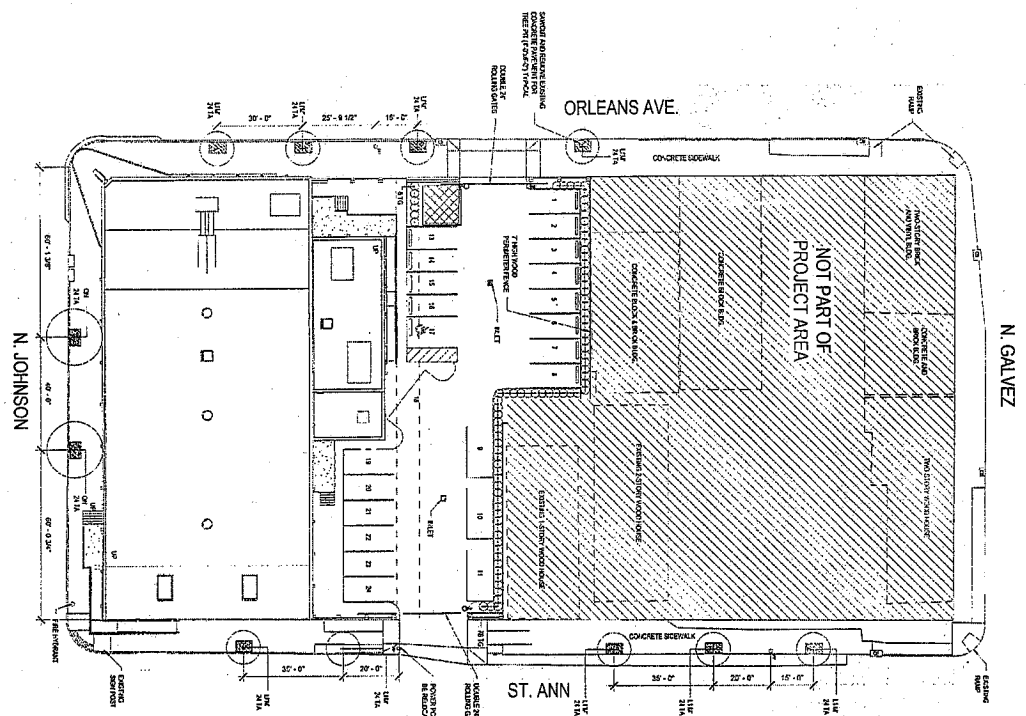




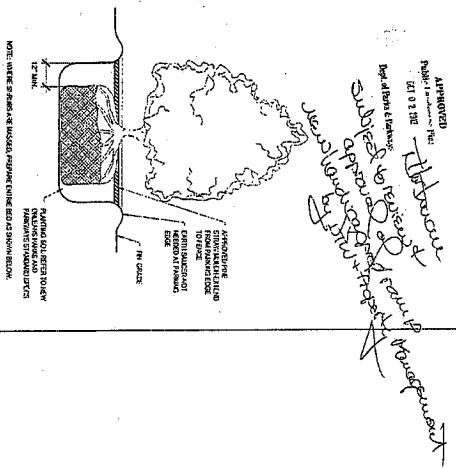




1 LANDSCAPE SITE PLAN
SCALE: 1" = 20'-0"



2 SHRUB PLANTING DETAIL
SCALE: 1" = 2'-0"



PLANT LIST:

NO.	SYM.	COMMON NAME	USE	REMARKS
1	1	SPRING BURNING	SPRING BURNING	
2	2	SPRING BURNING	SPRING BURNING	
3	3	SPRING BURNING	SPRING BURNING	
4	4	SPRING BURNING	SPRING BURNING	
5	5	SPRING BURNING	SPRING BURNING	
6	6	SPRING BURNING	SPRING BURNING	
7	7	SPRING BURNING	SPRING BURNING	
8	8	SPRING BURNING	SPRING BURNING	
9	9	SPRING BURNING	SPRING BURNING	
10	10	SPRING BURNING	SPRING BURNING	
11	11	SPRING BURNING	SPRING BURNING	
12	12	SPRING BURNING	SPRING BURNING	
13	13	SPRING BURNING	SPRING BURNING	
14	14	SPRING BURNING	SPRING BURNING	
15	15	SPRING BURNING	SPRING BURNING	
16	16	SPRING BURNING	SPRING BURNING	
17	17	SPRING BURNING	SPRING BURNING	
18	18	SPRING BURNING	SPRING BURNING	
19	19	SPRING BURNING	SPRING BURNING	
20	20	SPRING BURNING	SPRING BURNING	
21	21	SPRING BURNING	SPRING BURNING	
22	22	SPRING BURNING	SPRING BURNING	
23	23	SPRING BURNING	SPRING BURNING	
24	24	SPRING BURNING	SPRING BURNING	
25	25	SPRING BURNING	SPRING BURNING	
26	26	SPRING BURNING	SPRING BURNING	
27	27	SPRING BURNING	SPRING BURNING	
28	28	SPRING BURNING	SPRING BURNING	
29	29	SPRING BURNING	SPRING BURNING	
30	30	SPRING BURNING	SPRING BURNING	
31	31	SPRING BURNING	SPRING BURNING	
32	32	SPRING BURNING	SPRING BURNING	
33	33	SPRING BURNING	SPRING BURNING	
34	34	SPRING BURNING	SPRING BURNING	
35	35	SPRING BURNING	SPRING BURNING	
36	36	SPRING BURNING	SPRING BURNING	
37	37	SPRING BURNING	SPRING BURNING	
38	38	SPRING BURNING	SPRING BURNING	
39	39	SPRING BURNING	SPRING BURNING	
40	40	SPRING BURNING	SPRING BURNING	
41	41	SPRING BURNING	SPRING BURNING	
42	42	SPRING BURNING	SPRING BURNING	
43	43	SPRING BURNING	SPRING BURNING	
44	44	SPRING BURNING	SPRING BURNING	
45	45	SPRING BURNING	SPRING BURNING	
46	46	SPRING BURNING	SPRING BURNING	
47	47	SPRING BURNING	SPRING BURNING	
48	48	SPRING BURNING	SPRING BURNING	
49	49	SPRING BURNING	SPRING BURNING	
50	50	SPRING BURNING	SPRING BURNING	
51	51	SPRING BURNING	SPRING BURNING	
52	52	SPRING BURNING	SPRING BURNING	
53	53	SPRING BURNING	SPRING BURNING	
54	54	SPRING BURNING	SPRING BURNING	
55	55	SPRING BURNING	SPRING BURNING	
56	56	SPRING BURNING	SPRING BURNING	
57	57	SPRING BURNING	SPRING BURNING	
58	58	SPRING BURNING	SPRING BURNING	
59	59	SPRING BURNING	SPRING BURNING	
60	60	SPRING BURNING	SPRING BURNING	
61	61	SPRING BURNING	SPRING BURNING	
62	62	SPRING BURNING	SPRING BURNING	
63	63	SPRING BURNING	SPRING BURNING	
64	64	SPRING BURNING	SPRING BURNING	
65	65	SPRING BURNING	SPRING BURNING	
66	66	SPRING BURNING	SPRING BURNING	
67	67	SPRING BURNING	SPRING BURNING	
68	68	SPRING BURNING	SPRING BURNING	
69	69	SPRING BURNING	SPRING BURNING	
70	70	SPRING BURNING	SPRING BURNING	
71	71	SPRING BURNING	SPRING BURNING	
72	72	SPRING BURNING	SPRING BURNING	
73	73	SPRING BURNING	SPRING BURNING	
74	74	SPRING BURNING	SPRING BURNING	
75	75	SPRING BURNING	SPRING BURNING	
76	76	SPRING BURNING	SPRING BURNING	
77	77	SPRING BURNING	SPRING BURNING	
78	78	SPRING BURNING	SPRING BURNING	
79	79	SPRING BURNING	SPRING BURNING	
80	80	SPRING BURNING	SPRING BURNING	
81	81	SPRING BURNING	SPRING BURNING	
82	82	SPRING BURNING	SPRING BURNING	
83	83	SPRING BURNING	SPRING BURNING	
84	84	SPRING BURNING	SPRING BURNING	
85	85	SPRING BURNING	SPRING BURNING	
86	86	SPRING BURNING	SPRING BURNING	
87	87	SPRING BURNING	SPRING BURNING	
88	88	SPRING BURNING	SPRING BURNING	
89	89	SPRING BURNING	SPRING BURNING	
90	90	SPRING BURNING	SPRING BURNING	
91	91	SPRING BURNING	SPRING BURNING	
92	92	SPRING BURNING	SPRING BURNING	
93	93	SPRING BURNING	SPRING BURNING	
94	94	SPRING BURNING	SPRING BURNING	
95	95	SPRING BURNING	SPRING BURNING	
96	96	SPRING BURNING	SPRING BURNING	
97	97	SPRING BURNING	SPRING BURNING	
98	98	SPRING BURNING	SPRING BURNING	
99	99	SPRING BURNING	SPRING BURNING	
100	100	SPRING BURNING	SPRING BURNING	

PLANTING NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL LANDSCAPE ARCHITECTS ASSOCIATION (NLA) STANDARD SPECIFICATIONS FOR PLANTING.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL LANDSCAPE ARCHITECTS ASSOCIATION (NLA) STANDARD SPECIFICATIONS FOR PLANTING.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL LANDSCAPE ARCHITECTS ASSOCIATION (NLA) STANDARD SPECIFICATIONS FOR PLANTING.

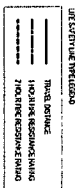


HISTORIC CARVER THEATER RENOVATIONS AND ADDITIONS
2101 ORLEANS AVENUE
NEW ORLEANS, LA 70116
100% CONSTRUCTION DOCUMENTS

LANDSCAPE PLAN & DETAILS
A0.5

Perez.

A1.01



THE FOLLOWING IS TYPICAL FOR ALL WORKS

THE FOLLOWING IS TYPICAL FOR ALL WORK:

1. TO BE A MEMBER OF THE BOARD OF DIRECTORS OF THE COMPANY, THE APPLICANT MUST BE AN INDIVIDUAL WHO IS AT LEAST 18 YEARS OF AGE AND A RESIDENT OF THE UNITED STATES.
2. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF THE COMPANY.
3. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF ANY OTHER COMPANY THAT IS A DIRECT SUBSIDIARY OF THE COMPANY.
4. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF ANY OTHER COMPANY THAT IS A DIRECT SUBSIDIARY OF THE COMPANY.
5. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF ANY OTHER COMPANY THAT IS A DIRECT SUBSIDIARY OF THE COMPANY.
6. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF ANY OTHER COMPANY THAT IS A DIRECT SUBSIDIARY OF THE COMPANY.
7. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF ANY OTHER COMPANY THAT IS A DIRECT SUBSIDIARY OF THE COMPANY.
8. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF ANY OTHER COMPANY THAT IS A DIRECT SUBSIDIARY OF THE COMPANY.
9. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF ANY OTHER COMPANY THAT IS A DIRECT SUBSIDIARY OF THE COMPANY.
10. THE APPLICANT MUST BE AN INDIVIDUAL WHO IS NOT CURRENTLY A MEMBER OF THE BOARD OF DIRECTORS OF ANY OTHER COMPANY THAT IS A DIRECT SUBSIDIARY OF THE COMPANY.

KEYNOTES

- [illegible]

LINE SWEET LINE MEIGOOD

[illegible]

18

1000

Perez.

406 0112341
 DAKOTA
 Address
 at 10000
 10000000
 00000000

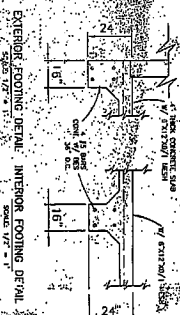
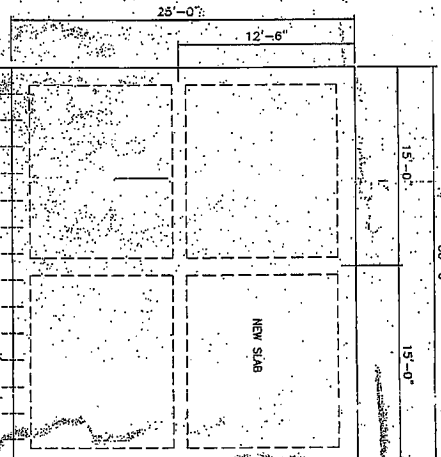
HISTORIC CARVER THEATER RENOVATIONS AND ADDITIONS

2101 ORLEANS AVENUE
NEW ORLEANS, LA 70116
100% CONSTRUCTION DOCUMENTS

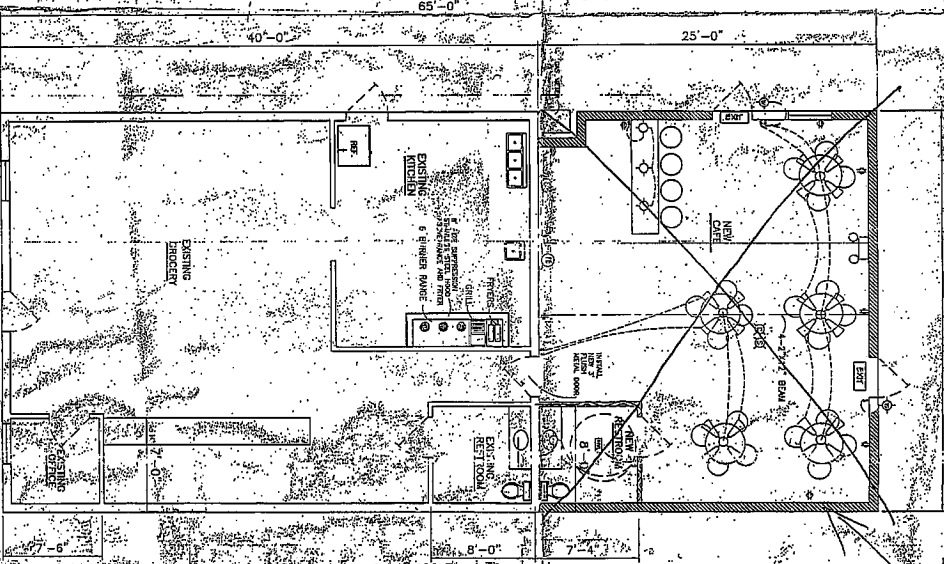
2ND FLOOR PLAN

A1.01

Possible future add'l for
Dec 2016
not exact



FOUNDATION PLAN




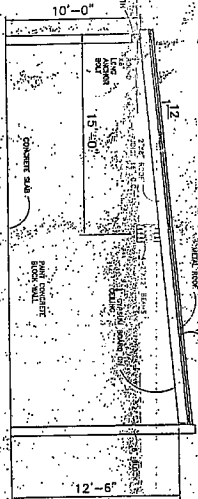
FLOOR PLAN

SQUARE FTG
ADDITION 770

- ELECTRICAL NOTES:**
1. AFCI PROTECTION SHALL BE PROVIDED FOR ALL ROOMS.
 2. SMOKE DETECTORS (A) SHALL BE INSTALLED, (C) SHALL BE 120 VOLT, HARDWIRED, INTERCONNECTED, WITH A BATTERY BACKUP, (D) SHALL NOT BE INSTALLED WITHIN 8 FEET OF THE EXTERIOR WALL, (E) SHALL BE PROTECTED FROM THE SUN, (F) THE DISMOWSER SHALL BE CONNECTED BY MEANS OF AN APPLIANCE CORD TO A RECEPTACLE UNDER THE SINK, THE RE-CEFTACLE WILL NOT BE ON PROTECTED.
 3. BATHROOMS: (A) ALL RECEPTACLES SHALL BE ON PROTECTED.
 4. BATHROOMS: (A) ALL RECEPTACLES SHALL BE ON PROTECTED AND SHALL HAVE WATERPROOF COVERS.
 5. EXTERIOR RECEPTACLES SHALL ALL BE GFCI PROTECTED AND SHALL HAVE WATERPROOF COVERS.
 6. A RECEPTACLE (NOT SPORN ON THE FLOOR) WILL BE INSTALLED ON THE EXTERIOR WALL WITHIN 25 FEET OF THE AIR CONDITIONING EQUIPMENT.
 7. PROVIDE CARBON MONOXIDE PROTECTIONS

	NEW 8" CONCRETE BLOCK
	EXISTING CONCRETE BLOCK
	NEW FRAME WALL CONSTRUCTION
	EXISTING FRAME WALL
	FIRE EXTINGUISHER PER CODE
	EMERGENCY LIGHT W/ BATTERY PACK
	EXIT LIGHT W/ BATTERY PACK
	WALL SWITCH - NEEL POLE SHOULDER THROW DOWN LAY 60' AFF.
	2-1/2 WAY WALL SWITCH MOUNTED ON WALL
	VENT/EXHAUST FAN
	VENT/EXHAUST FANBOX
	NO MORE THAN 57' ABOVE FLOOR
	SECTION LOCATES SECTION

	
LA 2Y	A AND D GROSSBERG & CAVE
TRUM	412 NORTH OLIVER
8320 URBINE C	
504-279-	
ATURI	
HALLER, LA 7034	Doc
78	3/16/12
8300 N. OLIVER	last 10 of 3
	see pg 4481

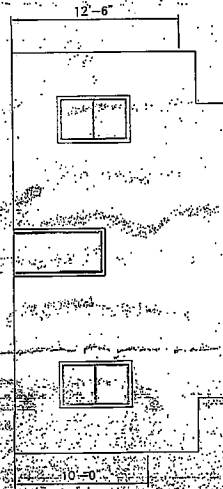


CROSS SECTION
Scale 1/4" = 1'-0"

DESIGN CRITERIA

THE CONSTRUCTION FOR SAID BUILDING, WHERE BASIC WIND SPEED IS 130 MILES PER HOUR, IS DESIGNED IN ACCORDANCE WITH: ICC-600, 2009, IRC EDITION WOOD FRAME CONSTRUCTION MANUAL

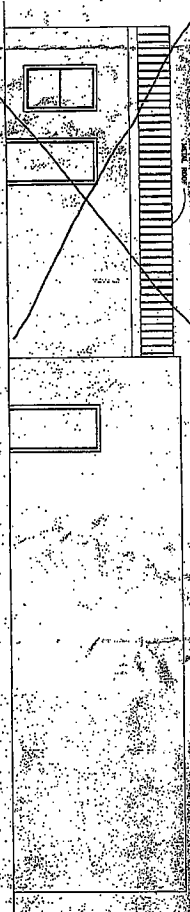
WIND BORNE DEBRIS PROTECTION
WINDOWS IN BUILDING LOCATED IN WIND BORNE DEBRIS REGION SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND BORNE DEBRIS. WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 1/2" AND A MAX. SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE ATTACHED TO STUDS OR JOISTS WITH ATTACHMENT HARDWARE PROVIDED.



FRONT ELEVATION
Scale 1/4" = 1'-0"



REAR ELEVATION
Scale 1/4" = 1'-0"



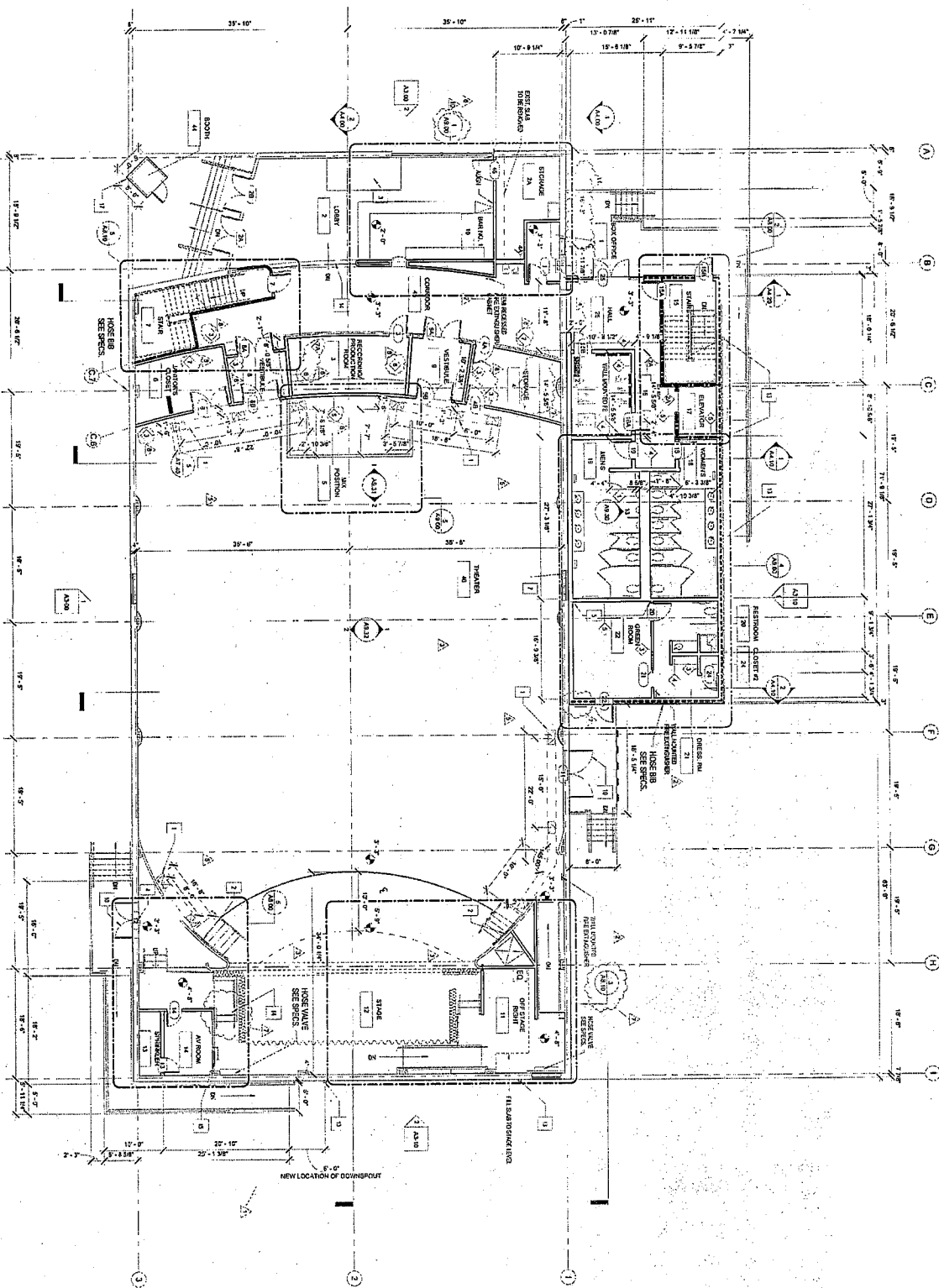
LEFT ELEVATION
Scale 1/4" = 1'-0"

possible future addition
does not exist Not a part

LARRY AND D. GROCERY & CARE
TRUMBATURIL
507-273-1500
3/16/12
LARRY AND D. GROCERY & CARE
TRUMBATURIL
507-273-1500
3/16/12

1 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES PLANS

1. SEE TYPICAL FOR ALL WORK.

2. REPAIR EXISTING EXTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

3. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

4. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

5. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

6. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

7. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

8. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

9. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

10. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

11. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

12. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

13. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

14. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

15. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

16. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

17. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

18. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

19. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

20. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

21. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

22. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

23. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

24. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

25. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

26. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

27. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

28. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

29. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

30. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

31. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

32. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

33. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

34. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

35. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

36. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

37. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

38. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

39. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

40. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

41. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

42. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

43. REPAIR EXISTING INTERIOR PAINTED WALLS AND

SHAKE PATTERNS.

HISTORIC CARVER THEATER
RENOVATIONS AND ADDITIONS

2101 ORLEANS AVENUE
NEW ORLEANS, LA 70116
100% CONSTRUCTION DOCUMENTS

Perez.

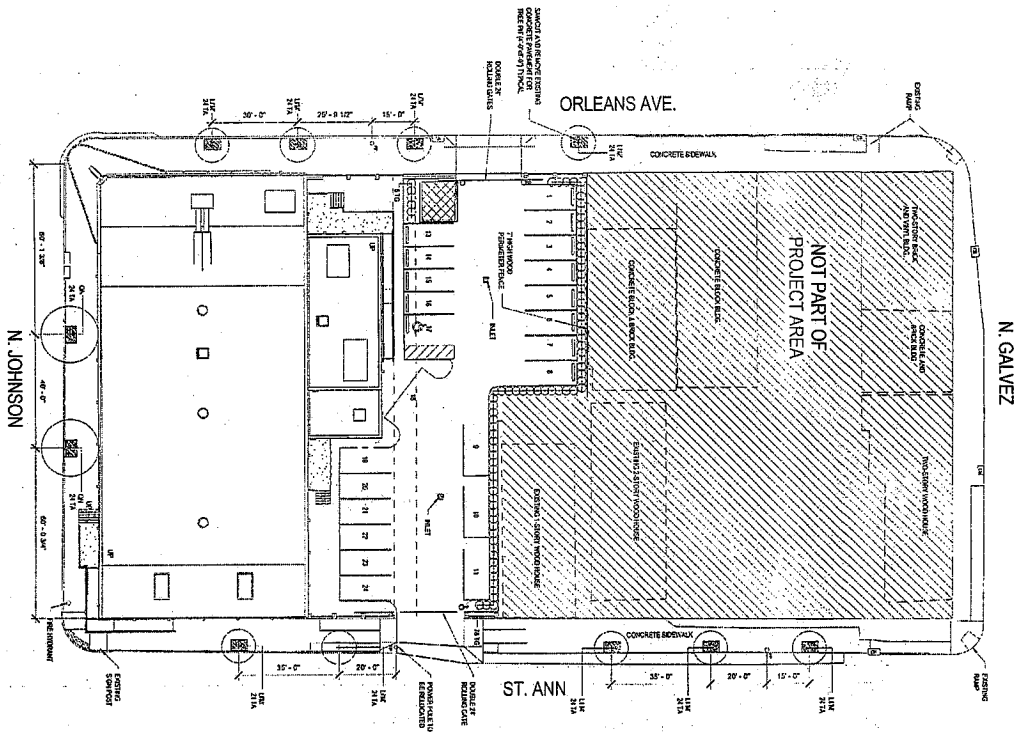
ARCHITECT
1115 PINE STREET
SUITE 200
NEW ORLEANS, LA 70112
504.581.1234
WWW.PEREZARCHITECT.COM

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	7/15/2014
2	ISSUED FOR PERMIT	7/15/2014
3	ISSUED FOR PERMIT	7/15/2014
4	ISSUED FOR PERMIT	7/15/2014
5	ISSUED FOR PERMIT	7/15/2014
6	ISSUED FOR PERMIT	7/15/2014
7	ISSUED FOR PERMIT	7/15/2014
8	ISSUED FOR PERMIT	7/15/2014
9	ISSUED FOR PERMIT	7/15/2014
10	ISSUED FOR PERMIT	7/15/2014
11	ISSUED FOR PERMIT	7/15/2014
12	ISSUED FOR PERMIT	7/15/2014
13	ISSUED FOR PERMIT	7/15/2014
14	ISSUED FOR PERMIT	7/15/2014
15	ISSUED FOR PERMIT	7/15/2014
16	ISSUED FOR PERMIT	7/15/2014
17	ISSUED FOR PERMIT	7/15/2014
18	ISSUED FOR PERMIT	7/15/2014
19	ISSUED FOR PERMIT	7/15/2014
20	ISSUED FOR PERMIT	7/15/2014
21	ISSUED FOR PERMIT	7/15/2014
22	ISSUED FOR PERMIT	7/15/2014
23	ISSUED FOR PERMIT	7/15/2014
24	ISSUED FOR PERMIT	7/15/2014
25	ISSUED FOR PERMIT	7/15/2014
26	ISSUED FOR PERMIT	7/15/2014
27	ISSUED FOR PERMIT	7/15/2014
28	ISSUED FOR PERMIT	7/15/2014
29	ISSUED FOR PERMIT	7/15/2014
30	ISSUED FOR PERMIT	7/15/2014
31	ISSUED FOR PERMIT	7/15/2014
32	ISSUED FOR PERMIT	7/15/2014
33	ISSUED FOR PERMIT	7/15/2014
34	ISSUED FOR PERMIT	7/15/2014
35	ISSUED FOR PERMIT	7/15/2014
36	ISSUED FOR PERMIT	7/15/2014
37	ISSUED FOR PERMIT	7/15/2014
38	ISSUED FOR PERMIT	7/15/2014
39	ISSUED FOR PERMIT	7/15/2014
40	ISSUED FOR PERMIT	7/15/2014
41	ISSUED FOR PERMIT	7/15/2014
42	ISSUED FOR PERMIT	7/15/2014
43	ISSUED FOR PERMIT	7/15/2014
44	ISSUED FOR PERMIT	7/15/2014
45	ISSUED FOR PERMIT	7/15/2014
46	ISSUED FOR PERMIT	7/15/2014
47	ISSUED FOR PERMIT	7/15/2014
48	ISSUED FOR PERMIT	7/15/2014
49	ISSUED FOR PERMIT	7/15/2014
50	ISSUED FOR PERMIT	7/15/2014

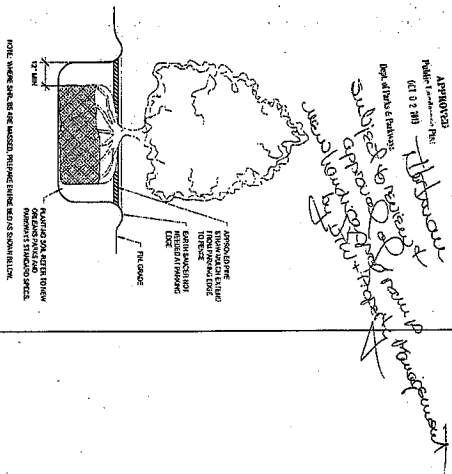
A1.00

1ST FLOOR PLAN

2 SHRUB PLANTING DETAIL
SCALE: 12" = 1'-0"



A0.5

[illegible]

PLANTING NOTES:

1. THE CONNECTION SHALL BE RESPONSIBLE FOR WEIGHING THE QUANTITIES SHOWN ON THE PLANS.
2. ALL STEEL BEAMS SHALL BE LAPPED TO A MINIMUM OF 8' SPACING SHALL BE AT LEAST THE STRONG.
3. ALL STEEL BEAMS AND MOMENTS SHALL HAVE 16" DEPTH OF SPECIFIED TOP/ROOF.
4. STEEL BEAMS SHALL EXTEND FROM THE PILING LOT EDGE TO THE TIE-ROD.

HISTORIC CARVER THEATER RENOVATIONS AND ADDITIONS

2101 ORLEANS AVENUE
NEW ORLEANS, LA 70116

100% CONSTRUCTION DOCUMENTS

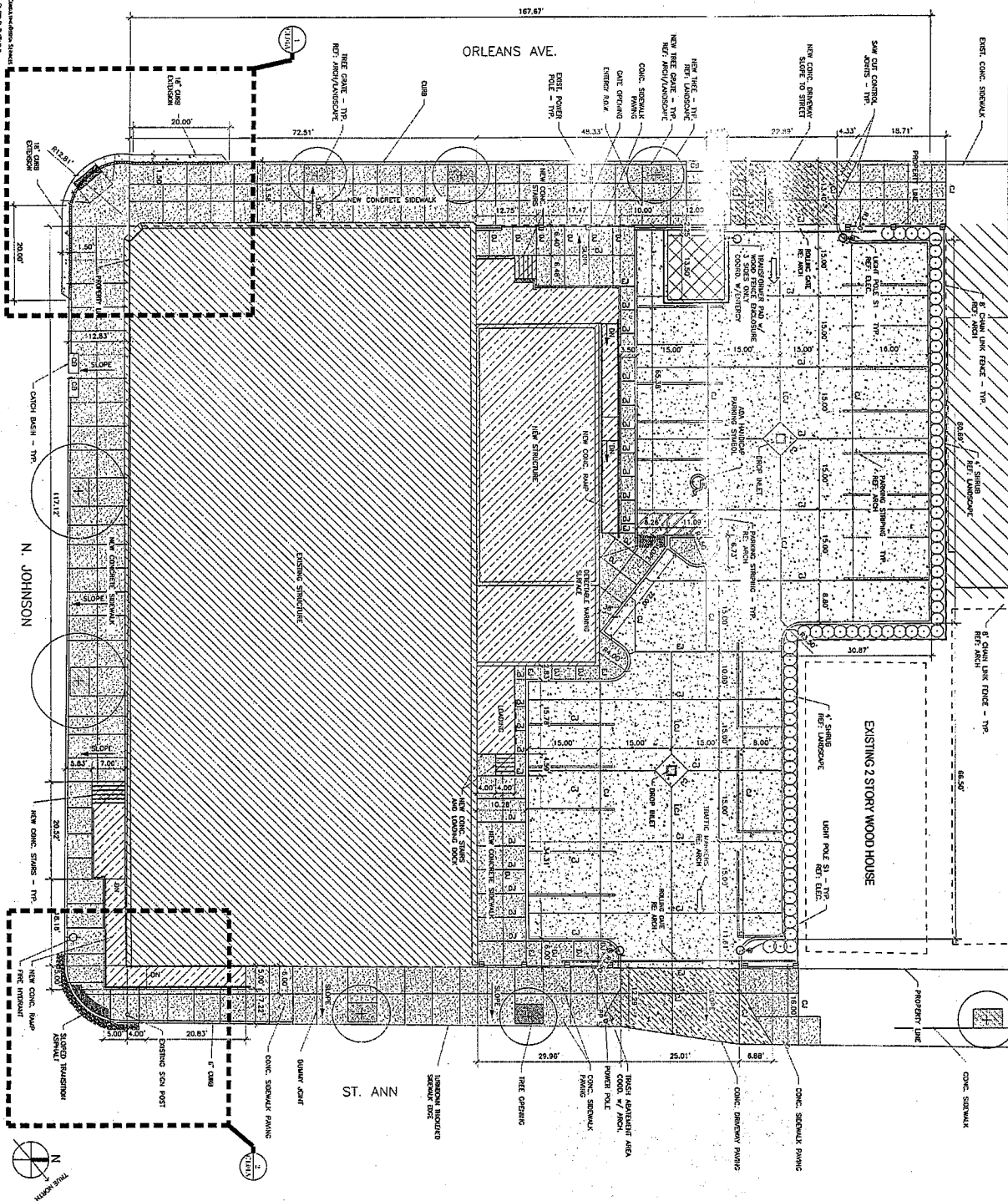


Perez.

FBI
A-9086 + VIA JUNE CRYSTALIZATION
JIT BILBOUET FIVE R BLADE 01
4070 DOWDAN, LA 70112
VIA JUNE 2 COM

DRAWN BY: DATE: _____
 CHECKED BY: SCALE: _____
 SHEET NO: _____
 LANDSCAPE PLAN &
 DETAILS












A0.5



GENERAL NOTES

1. SET ARCHITECTURAL DRAWINGS FOR GENERAL SET PLAN.
2. SET LUMINOUS DRAWINGS FOR MORE INFORMATION ON SERVICES AND PLUMBING.
3. SET UP DRAWINGS FOR MORE INFORMATION ON DISTANCE ELECTRICAL AND PLUMBING CONNECTIONS AND EXTERIOR UPDRAFT.
4. PROVIDE P.E. AND/OR PERMITTER OF NEW AND EXISTING BUILDING WHERE PLUMBING ADRITS BUILDINGS.

LEGEND - CIVIL SITE

- | | |
|---|---|
|  | UNIFORM CAN |
|  | RED 5" THICK PARTIAL CHAIN
CONCRETE PAVEMENT SURFACE |
|  | RED 5" THICK PARTIAL CHAIN
CONCRETE PAVEMENT |
|  | RED 5" THICK PARTIAL CHAIN
CONCRETE PAVEMENT |
| --- | PROPERTY LINE |
|  | RED 5" CONCRETE CURB |
|  | RED 3" ASP. SALT |
|  | RED 3" ASP. BUSH |
|  | RED 3" ASP. BUSH |
|  | RED 3" ASP. BUSH |
|  | RED 3" ASP. BUSH |
|  | RED 3" ASP. BUSH |

HISTORIC CARVER THEATER RENOVATIONS AND ADDITIONS

2101 ORLEANS AVENUE
NEW ORLEANS, LA 70116

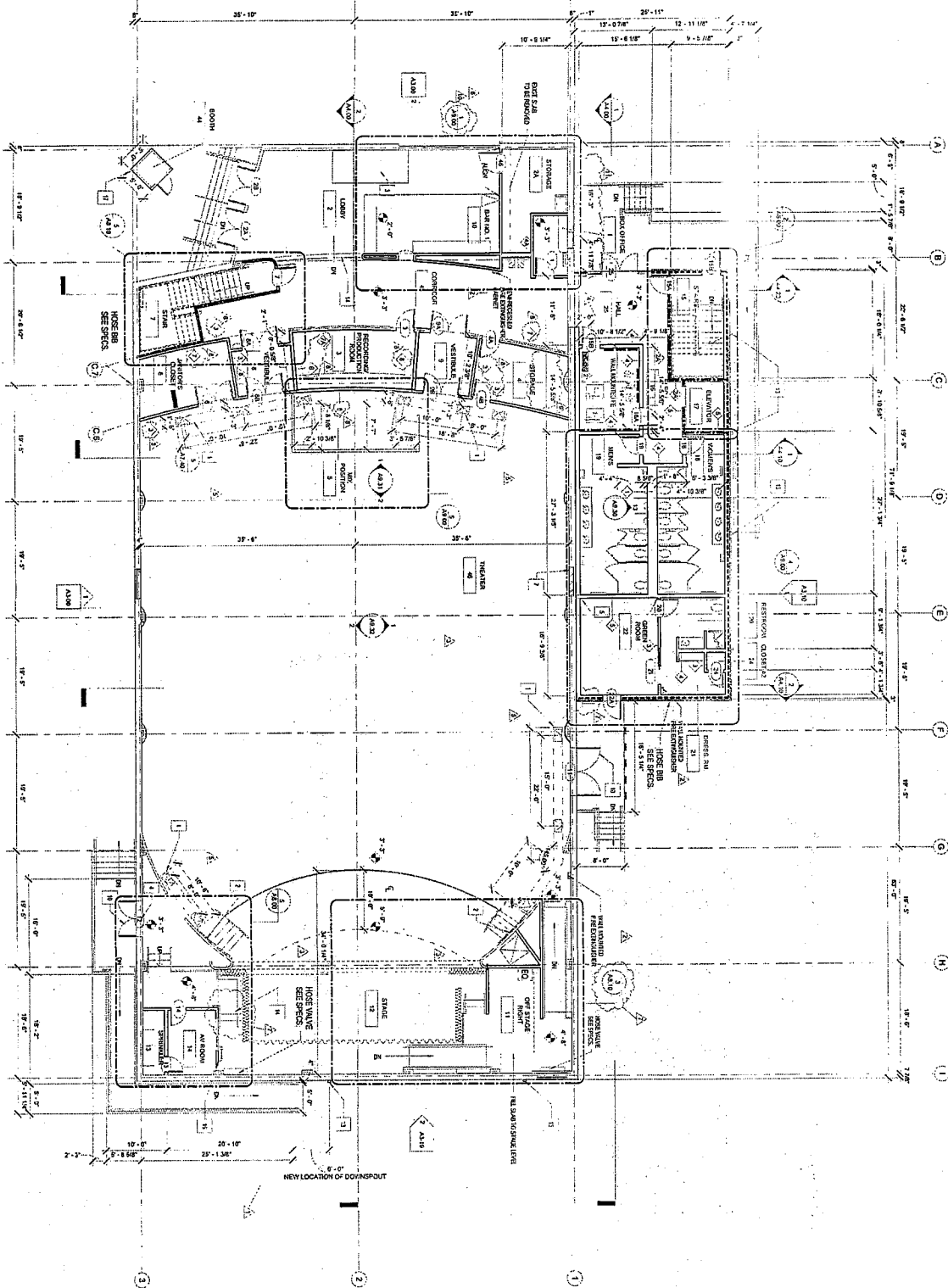
100% CONSTRUCTION DOCUMENTS

SITE PLAN

C1.01

1 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES: PLANS

1. REFER TO ALL GENERAL NOTES FOR ALL WORK.
2. REFER TO ALL GENERAL NOTES FOR ALL WALLS AND SPACE PARTITIONING.
3. REFER TO ALL GENERAL NOTES FOR ALL ROOFING AND EXTERIOR FINISHES.
4. REFER TO ALL GENERAL NOTES FOR ALL INTERIOR FINISHES.
5. REFER TO ALL GENERAL NOTES FOR ALL MECHANICAL AND ELECTRICAL SYSTEMS.
6. REFER TO ALL GENERAL NOTES FOR ALL PLUMBING AND SANITARY SYSTEMS.
7. REFER TO ALL GENERAL NOTES FOR ALL STRUCTURAL SYSTEMS.
8. REFER TO ALL GENERAL NOTES FOR ALL SPECIALTIES AND EQUIPMENT.
9. REFER TO ALL GENERAL NOTES FOR ALL MATERIALS AND FINISHES.
10. REFER TO ALL GENERAL NOTES FOR ALL CONSTRUCTION METHODS AND TECHNIQUES.
11. REFER TO ALL GENERAL NOTES FOR ALL SAFETY AND SECURITY MEASURES.
12. REFER TO ALL GENERAL NOTES FOR ALL ACCESSIBILITY REQUIREMENTS.
13. REFER TO ALL GENERAL NOTES FOR ALL ENVIRONMENTAL AND SUSTAINABILITY MEASURES.
14. REFER TO ALL GENERAL NOTES FOR ALL HISTORIC PRESERVATION REQUIREMENTS.
15. REFER TO ALL GENERAL NOTES FOR ALL RECORDING AND DOCUMENTATION REQUIREMENTS.

REMARKS

1. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
2. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
3. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
4. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
5. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
6. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
7. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
8. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
9. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
10. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
11. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
12. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
13. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
14. REMOVE EXISTING STAIRS TO EXISTING LEVEL.
15. REMOVE EXISTING STAIRS TO EXISTING LEVEL.

HISTORIC CARVER THEATER
RENOVATIONS AND ADDITIONS

2101 ORLEANS AVENUE
NEW ORLEANS, LA 70116
100% CONSTRUCTION DOCUMENTS

Perez.

1ST FLOOR PLAN

A1.00

Perez

100% CONSTRUCTION DOCUMENTS

GENERAL NOTES

- 1. SEE ARCHITECTURAL DRAWINGS FOR GENERAL SITE PLAN.
- 2. SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION.
- 3. SEE SET DRAWINGS FOR MORE INFORMATION ON EXISTING ELECTRICAL AND PLUMBING CONDITIONS AND EXISTING STRUCTURES.
- 4. EXISTING 2 STORY WOOD HOUSE IS NEW AND EXISTING STRUCTURE SHALL BE DEMOLISHED.

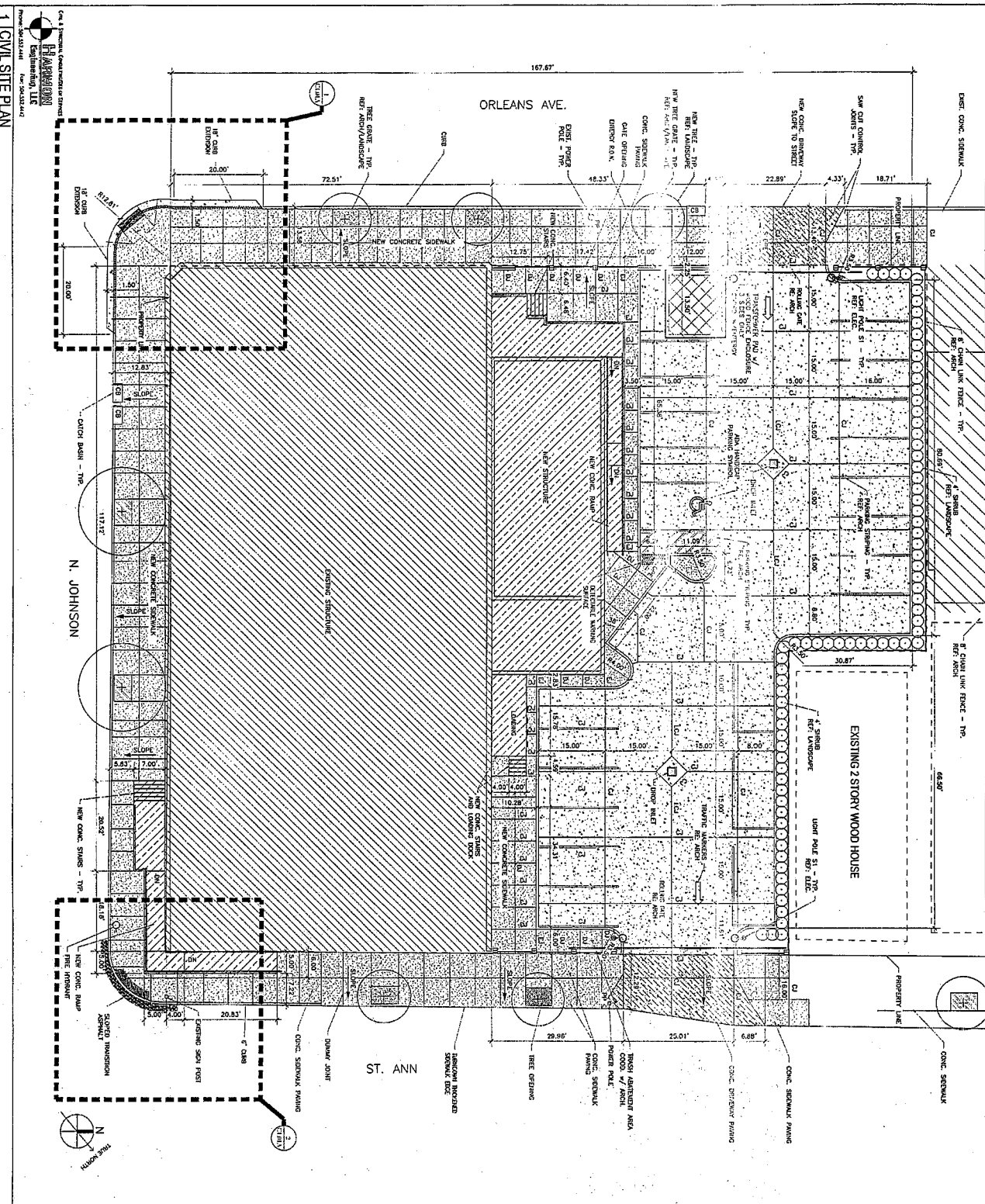
LEGEND - CIVIL SITE

- LANDSCAPE SW
- PROPOSED 1" WIDE FORMER DRIVEWAY
- EXISTING 1" WIDE FORMER DRIVEWAY
- EXISTING 2" WIDE FORMER DRIVEWAY
- EXISTING 4" WIDE FORMER DRIVEWAY
- EXISTING 6" WIDE FORMER DRIVEWAY
- EXISTING 8" WIDE FORMER DRIVEWAY
- EXISTING 10" WIDE FORMER DRIVEWAY
- EXISTING 12" WIDE FORMER DRIVEWAY
- EXISTING 14" WIDE FORMER DRIVEWAY
- EXISTING 16" WIDE FORMER DRIVEWAY
- EXISTING 18" WIDE FORMER DRIVEWAY
- EXISTING 20" WIDE FORMER DRIVEWAY
- EXISTING 22" WIDE FORMER DRIVEWAY
- EXISTING 24" WIDE FORMER DRIVEWAY
- EXISTING 26" WIDE FORMER DRIVEWAY
- EXISTING 28" WIDE FORMER DRIVEWAY
- EXISTING 30" WIDE FORMER DRIVEWAY
- EXISTING 32" WIDE FORMER DRIVEWAY
- EXISTING 34" WIDE FORMER DRIVEWAY
- EXISTING 36" WIDE FORMER DRIVEWAY
- EXISTING 38" WIDE FORMER DRIVEWAY
- EXISTING 40" WIDE FORMER DRIVEWAY
- EXISTING 42" WIDE FORMER DRIVEWAY
- EXISTING 44" WIDE FORMER DRIVEWAY
- EXISTING 46" WIDE FORMER DRIVEWAY
- EXISTING 48" WIDE FORMER DRIVEWAY
- EXISTING 50" WIDE FORMER DRIVEWAY
- EXISTING 52" WIDE FORMER DRIVEWAY
- EXISTING 54" WIDE FORMER DRIVEWAY
- EXISTING 56" WIDE FORMER DRIVEWAY
- EXISTING 58" WIDE FORMER DRIVEWAY
- EXISTING 60" WIDE FORMER DRIVEWAY
- EXISTING 62" WIDE FORMER DRIVEWAY
- EXISTING 64" WIDE FORMER DRIVEWAY
- EXISTING 66" WIDE FORMER DRIVEWAY
- EXISTING 68" WIDE FORMER DRIVEWAY
- EXISTING 70" WIDE FORMER DRIVEWAY
- EXISTING 72" WIDE FORMER DRIVEWAY
- EXISTING 74" WIDE FORMER DRIVEWAY
- EXISTING 76" WIDE FORMER DRIVEWAY
- EXISTING 78" WIDE FORMER DRIVEWAY
- EXISTING 80" WIDE FORMER DRIVEWAY
- EXISTING 82" WIDE FORMER DRIVEWAY
- EXISTING 84" WIDE FORMER DRIVEWAY
- EXISTING 86" WIDE FORMER DRIVEWAY
- EXISTING 88" WIDE FORMER DRIVEWAY
- EXISTING 90" WIDE FORMER DRIVEWAY
- EXISTING 92" WIDE FORMER DRIVEWAY
- EXISTING 94" WIDE FORMER DRIVEWAY
- EXISTING 96" WIDE FORMER DRIVEWAY
- EXISTING 98" WIDE FORMER DRIVEWAY
- EXISTING 100" WIDE FORMER DRIVEWAY

HISTORIC CARVER THEATER
RENOVATIONS AND ADDITIONS
2101 ORLEANS AVENUE
NEW ORLEANS, LA 70116
100% CONSTRUCTION DOCUMENTS

DATE: 10/1/11
DRAWN BY: J. M. PEREZ
CHECKED BY: J. M. PEREZ
DATE: 10/1/11
SCALE: 1"=10'-0"

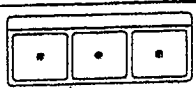
PROJECT: HISTORIC CARVER THEATER
SHEET: SITE PLAN
SHEET NO.: C1.01



1 CIVIL SITE PLAN
SCALE: 1"=10'-0"

Item #7

Consideration: **ZONING DOCKET 057/14** – Request by MINH V. NGUYEN for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at a retail store in an LI Light Industrial District and the Lafitte Greenway Revitalization Corridor Interim Zoning District, on Square 272, Lots A and B, in the Second Municipal District, bounded by North Galvez, Saint Louis, Conti, and North Johnson Streets. The municipal addresses are 432 NORTH GALVEZ STREET AND 2120-2126 ST LOUIS STREET. (PD 4)



FRYERS

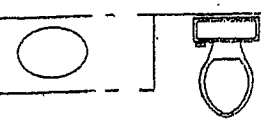
GRILL

8' FIRE SUPPRESSION
STAINLESS STEEL HOOD
ABOVE RANGE AND FRYER

6 BURNER RANGE

EXISTING
KITCHEN

REF.



EXISTING
REST ROOM

EXISTING
GROCERY

7' -0"

EXISTING
OFFICE

